



14

## Design Review Board Staff Report

**TO:** DESIGN REVIEW BOARD *RC*

**FROM:** BOB CARAVONA, AICP, SENIOR PLANNER  
480-503-6812, BOB.CARAVONA@GILBERTAZ.GOV

**THROUGH:** CATHERINE LORBEER, AICP, PRINCIPAL PLANNER  
480-503-6016, CATHERINE.LORBEER@GILBERTAZ.GOV *ajl*

**MEETING DATE:** SEPTEMBER 11, 2014

**SUBJECT:** ST14-04, Elliot Groves at Morrison Ranch - Phase 2, Parcel 2C.

<b>STRATEGIC INITIATIVE:</b>	Community Livability
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The builder offers six (6) plans designed to meet the residential quality of Elliot Groves of Morrison Ranch.

**REQUEST**

Approval of six (6) new standard plans (3513, 3514, 3516, 3523, 3526 and 3536) by Taylor Morrison on 94 lots (Lots 69-162) generally located at the southeast corner of Recker and Elliot Roads in the Single Family – Detached (SF-D) zoning district with a Planned Area Development (PAD) overlay.

**RECOMMENDED MOTION**

Approve the findings of fact and ST14-04, Elliot Groves at Morrison Ranch - Phase 2, Parcel 2C: for six (6) new standard plans (3513, 3514, 3516, 3523, 3526 and 3536) by Taylor Morrison on 94 lots (Lots 69-162) generally located at the southeast corner of Recker and Elliot Roads in the Single Family – Detached (SF-D) zoning district with a Planned Area Development (PAD) overlay, subject to conditions.

## **APPLICANT/OWNER**

<b>OWNER:</b> Taylor Morrison	<b>APPLICANT:</b> M. Architectural Consulting, Inc.
<b>ADDRESS:</b> 9000 E. Pima Center	<b>ADDRESS:</b> 1915 E. Merlot St.
Parkway, Suite 350	Gilbert, AZ 8598
Scottsdale, AZ 85258	
<b>PHONE:</b> 480-344-5733	<b>PHONE:</b> 602-421-0983
<b>EMAIL:</b> dipper@taylormorrison.com	Michelle@Marchitectural.com

## **BACKGROUND/DISCUSSION**

### **History:**

Date	Action
<i>November 3, 1998</i>	Town Council adopted Ordinance No. 1129 in rezoning case Z98-13 creating the Morrison Ranch Planned Area Development.
<i>November 16, 1999</i>	The Town Council adopted ordinance No. 1232 in rezoning case Z99-46 which amended setbacks for the residential zoning districts in the PAD.
<i>February 28, 2006</i>	The Town Council approved Ordinance No. 1705 in rezoning case Z05-21 which rezoned approximately 160 acres at the southeast corner of Elliot and Recker Road in the Lakeside Groves development of the Morrison Ranch.
<i>August 5, 2010</i>	The Town Council adopted Ordinance No. 2295 in rezoning case Z10-04 and rezoned approximately 157 acres of the Morrison Ranch at the southeast corner of Elliot and Recker roads that removed the commercial zoning district on the corner and reconfigured boundaries for the residential zoning districts creating larger parcels with smaller single family lots and reduced the acreage for the Multi-Family zoning district.
<i>November 3, 2010</i>	The Planning Commission approved the preliminary plat for Phase 1 of Elliot Groves at Morrison Ranch (S10-06), a 76 acres subdivision that created 208 single family lots located at the south east corner of Elliot and Recker Roads.
<i>June 5, 2013</i>	The Planning Commission was presented with the application for preliminary plat for Elliot Groves Phase 2 for final action.

## Overview

Elliot Groves at Morrison Ranch Phase 2, is located at the southeast corner of Recker Road and Elliot Road. Elliot Groves offers a mixture of plans with front porches, colorful facades and architectural detailing with three distinct elevation themes per plan series to promote architectural diversity throughout the community. The architectural styles within each plan standard are Ranch “B”, Craftsman “C” and Prairie “E”. Each architectural style includes appropriate shutters, board and batten detailing or shingles under roof gables, stone, brick, decorative posts and railings, stucco trim and corbels/brackets.

The 94 lots are typically 50' x 115' or 5,050 square feet. Lots 7, 78, 99 100, 120, 121, 141, 142, and 162 are adjacent to open space and/or are corner lots which requires enhanced architectural treatment when viewed from the public.

### Surrounding Land Use & Zoning Designations:

	<b>General Plan Land Use</b>	<b>Existing Zoning (Overflight Area 2)</b>	<b>Existing Use</b>
On site:	Residential >2-3.5 DU/Acre (Parcels A &B)	Single Family Detached (SF-D) with PAD Overlay	Vacant
North:	Residential >2-3.5 DU/Acre	Single Family -7 (SF-7)	Elliot Groves – 2B subdivision
South:	Residential >2-3.5 DU/Acre (Parcels A &B)	Single Family Detached (SF-D) with PAD Overlay	Vacant – Elliot Groves
East:	Residential >14-25 DU/Acre & Business Park (BP)	Multi-Family Medium (MF-M) & Business Park (BP), Light Industrial (LI)	Vacant
West:	Residential >2-3.5 DU/Acre	Single Family-6 (SF-6) & Single Family Detached (SF-D)	Elliot Groves Phase 1 (Infrastructure)

### Project Data:

<b>Zoning</b>	SF-D
<b>Total Lots</b>	94 lots
<b>Minimum Required Lot Size</b>	5,500 square feet <sup>1</sup>
<b>Minimum Setbacks</b>	
Front:	20'/10'
Side:	5' and 10'
Rear:	15'
<b>Increased Building Setback Requirements</b>	
Front <sup>2</sup> :	23'/18'
Side:	5'/10'
Rear:	15'

<b>Lot Coverage</b>	
One Story:	60%
Two Story:	50%
<i>Notes</i>	
1. <i>Per Ordinance 2295.</i>	
2. <i>Front yards to be staggered 3' every third lot.</i>	

#### Plan Information:

Series Number Proposed Plans (ST14-04)	Livable Square Footage	Maximum Product (W x D)	Maximum Product Height
3513	1,574	35' x 70'	17'- 1"
3514	2,393	35' x 60'	27'- 6 3/4"
3516	2,662	35' x 56'	28'- 6"
3523	1,749	35' x 73'	18'-7"
3526	3,209	35' x 70'	28'- 6"
3536	3,093	35' x 70'	27 - 10 3/8"

#### Elevation and Material:

Elevation	Design Name	Roof Tile and Details
B	Ranch	Concrete roof tile (flat), decorative gable bracket, board and batten, hardie board trim, decorative shutters, stone veneer, stucco finish, rough sawn beam and railing (some models),
C	Craftsman	Concrete roof tile (flat), rough sawn bracket, shingle siding, hardie board trim and siding, stone veneer, railing, stucco finish
E	Prairie	Concrete tile roof (flat), stucco trim, concrete roof tile (flat), brick veneer, second floor trim accent (when applicable)

#### DISCUSSION

With the proposed plans (3513, 3514, 3516, 3523, 3526 and 3536), the applicant achieved architectural diversity through the following:

- Product Design: Elevation themes with Ranch, Craftsman and Prairie architectural styles.
- Veneer: Use of brick and stone veneer as a standard feature.
- Articulation: Varying massing elements combined with front porches and decorative detailing.

- Four sided architecture: Stucco trim detailing around windows, window will be a standard feature on the front, sides, and rear elevations of all plans. Elements from the front elevations have been added to the sides and rear elevations to provide a consistent appearance such as pier and post, shutters, board and batten, siding, stucco trim and corbels.
- Recessed front doors with wrap-around porches on select models.
- Color Schemes: Three color schemes are available for each elevation theme to strengthen architectural diversity.
- Roof Diversity: Diversity in roof form and roof tile appropriate to the architectural style and a contrasting color to each individual color scheme.
- Front Porches: to encourage interactions between homeowners and the passing public, the porches are sizeable and useable.

The proposal also meets the intent of the Residential Guideline requirement of "Treat any house elevations, that front, side or back up to a public street or open space with interesting and diverse architectural accents and style elements." Lots 77, 78, 99, 100, 120, 121, 141, 142 and 162 are corner lots and/or are adjacent to open space. The standard plans as submitted meet this guideline requirement.

The following briefly highlights the model series standard plans:

3513: From the street view, the large, front porch wraps around the left elevation to the recessed front door. The four bedroom, single story, 1574 square foot, model series each has varying roofs and architectural enhancements typical to the architectural style. The Ranch (B elevation) has decorative brackets, board and batten and rough sawn posts on its piers. The Craftsman (C elevation) is noted with shake shingles under the gable roof ends supported with decorative brackets. The pier and post reflect a traditional craftsman shape. The Prairie (E elevation) uses a stone veneer to place emphasis above the window sill.

3514: The two-story, 2,393 square foot plan exemplifies the achievement of architectural differentiation within a model plan. The Ranch, Craftsman and Prairie elevations, each are unique through the use of shutters, roof forms, garage styles, pier and post, window trim, varying material and color to emphasize minor elements, use of pop-outs, and stone veneer.

3516: The two-story, 2,662 square foot model changes the window pattern, roof lines, and material on the front elevations to achieve architectural distinction between the B, C and E elevations. The optional rear covered patio has serviceable 12' x 8' rear covered porch that breaks-up the building's facade and mass. However, the optional (half and full elevation) rear covered porch "B" is even more pronounced to the rear elevation. The inclination is to recommend the optional (half and full) rear covered porches become standards. However, in doing so, there would be a loss in variation to the rear elevations that, most likely, would be achieved through consumer preference.

3523: The four bedroom, 1,749 square foot, single-story home greets visitors through a covered front porch with the front door recessed from the façade by 4 feet between the garage and front room projections. The detailing and varying material under the gables (board and batten vs.

rough sawn shingle siding), and appropriate pier and post contribute to the architectural theme distinction among the B, C and E elevations.

3526: The two-story, 2,662 square foot plan introduces a three car garage through the use of tandem parking. The covered front porch greets a person to the front door which is approximately 14' setback from the front façade and along right side of the home. Again, there is good use of detailing, change of material and window patterns to provide variation consistent with the guidelines. The Prairie model (E elevation) sets itself apart from the B and C elevations through the use of trim and wrapping the banding along the second floor to the rear elevations.

3536: Through the use of different room forms, the two-story, 3,093 square foot plan's front, right and left elevations are each unique. Like the 3516 model discussion, the rear elevation offers an option to increase the size of the rear covered porch (half and full). Again, greater rear elevation variation can be achieved through consumer choice, rather than recommending a standard. Furthering the distinction among the B, C and E elevations is the use of pop-outs on the front elevation and appropriate style pier and post. This model also comes with a three car garage.

### **STAFF RECOMMENDATION**

Move to approve the Findings of Fact and ST14-04, Elliot Groves at Morrison Ranch - Phase 2, Parcel 2C: 6 new standards plans (3513, 3514, 3516, 3523, 3526 and 3536) by Taylor Morrison for 94 lots (Lots 69-162) generally located at the southeast corner of Recker and Elliot Roads in the Single Family – Detached (SF-D) zoning district with a Planned Area Development (PAD) overlay, subject to the following conditions:

1. All standard plans shall meet requirements set forth in the Resolution of the Design Review Board adopting standard residential house plan conditions approved on December 14, 2000.
2. All standard plan elevations shall be built per exhibits approved by the Design Review Board as presented at the public meeting of September 11, 2014.

Respectfully submitted,



Robert M. Caravona, AICP  
Senior Planner

### **Attachments and Enclosures:**

1. Findings of Fact
2. Vicinity Map

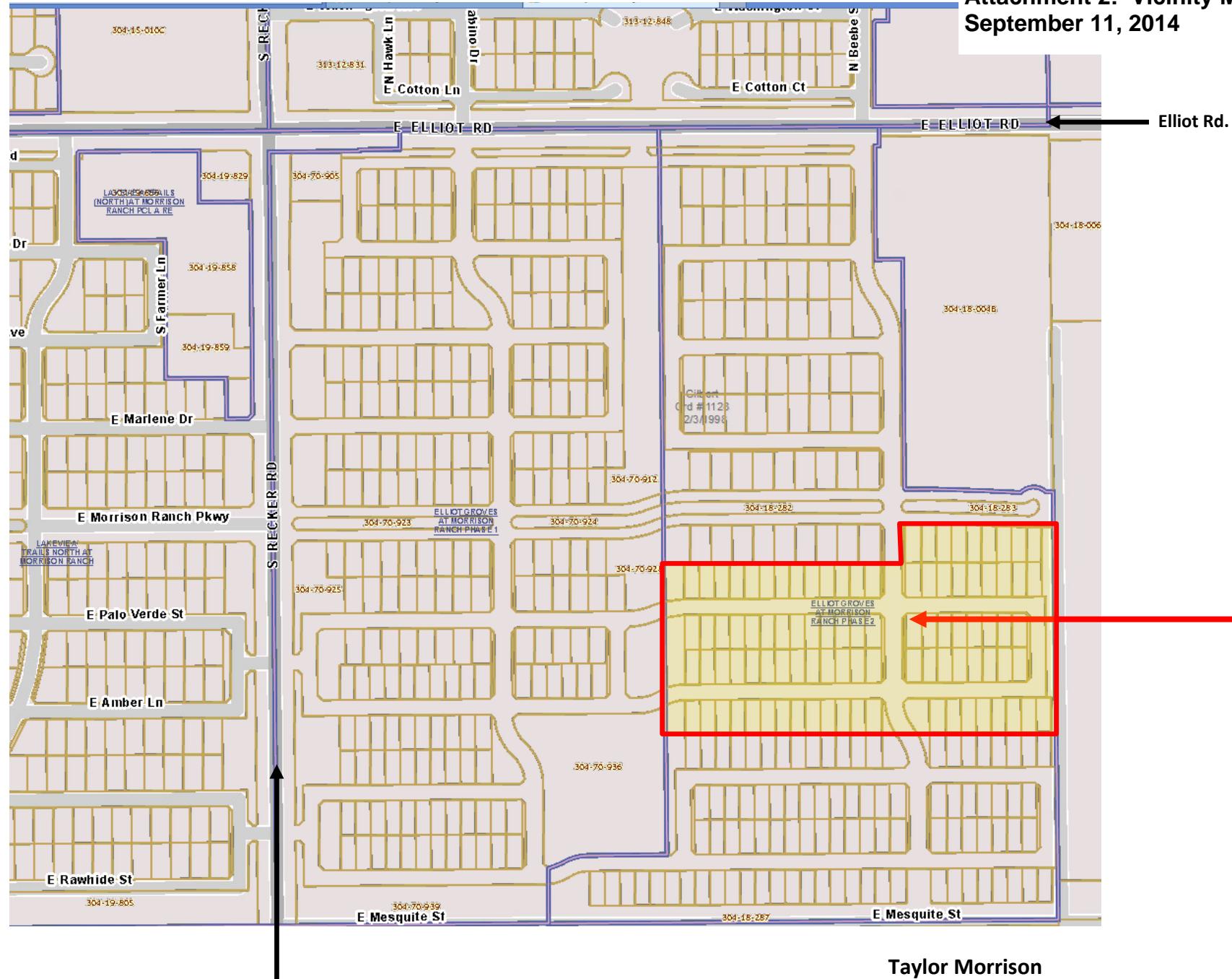
3. Plat with affected lots highlighted
4. Plot Plan 3513, Elevations, Floor Plans
5. Plot Plan 3514, Elevations, Floor Plans
6. Plot Plan 3516, Elevations, Floor Plans
7. Plot Plan 3523, Elevations, Floor Plans
8. Plot Plan 3526, Elevations, Floor Plans
9. Plot Plan 3536, Elevations, Floor Plans
10. Lot Fit Analysis
11. Color Palette

## **ST14-04 FINDINGS OF FACT**

Subject to conditions, the following findings of facts are provided for ST14-04: 6 Elliot Groves at Morrison Ranch - Phase 2, Parcel 2C to build 6 updated and new standard plans;

1. The project conforms to the General Plan, and specifically to the Land Use and Community Design;
2. The project as conditioned is consistent with all applicable provisions of the Zoning Code and Ordinance Nos. 1129, 1232, 1705, 2295 pertaining to Elliot Groves at Morrison Ranch and S10-06;
3. The project is compatible with adjacent and nearby development; and
4. The project design provides for safe and efficient provision of public services

**ST14-04**  
**Attachment 2: Vicinity Map**  
**September 11, 2014**



Taylor Morrison

Elliot Groves - Parcel 2C (Morrison Ranch)

Lots 69 - 162

10-004

**LEGAL DESCRIPTION**

A PORTION THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 1 SOUTH, RANGE 6 EAST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASS CAP IN HAND HOLE AT THE NORTHWEST CORNER OF SAID SECTION 13, FROM WHICH A BRASS CAP IN HAND HOLE AT THE NORTH QUARTER CORNER OF SAID SECTION 13 BEARS N89°27'20"E (AN ASSUMED BEARING) AT A DISTANCE OF 2596.52 FEET; THENCE N89°27'20"E, ALONG THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 13, FOR A DISTANCE OF 1298.26 FEET TO THE NORTHWEST CORNER OF THE EAST HALF OF THE NORTHWEST QUARTER OF SAID SECTION 13, SAID POINT BEING THE POINT OF BEGINNING;

THENCE CONTINUING N89°27'20"E, ALONG SAID NORTH LINE, FOR A DISTANCE OF 733.58 FEET; THENCE S00°32'40"E FOR A DISTANCE OF 65.00 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH 65 FEET OF THE NORTHWEST QUARTER OF SAID SECTION 13; THENCE S89°27'20"E, ALONG SAID SOUTH LINE, FOR A DISTANCE OF 15.00 FEET; THENCE S00°32'40"E FOR A DISTANCE OF .377.00 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH 442 FEET OF THE EAST HALF OF THE NORTHWEST QUARTER OF SAID SECTION 13; THENCE N89°27'20"E, ALONG SAID SOUTH LINE, FOR A DISTANCE OF 90.00 FEET; THENCE S00°32'40"E FOR A DISTANCE OF 756.50 FEET; THENCE S45°32'40"E FOR A DISTANCE OF 7.07 FEET; THENCE N89°27'20"E, FOR A DISTANCE OF 87.25 FEET TO THE BEGINNING OF A CURVE, CONCAVE TO THE SOUTH, THE CENTER OF WHICH BEARS S00°32'40"E AT A DISTANCE OF 2,019.50 FEET; THENCE EASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 04°26'02" FOR A DISTANCE OF 156.28 FEET TO THE BEGINNING OF A REVERSE CURVE, CONCAVE TO THE NORTH, THE CENTER OF WHICH BEARS N03°53'21"E, AT A DISTANCE OF 3,008.00 FEET; THENCE EASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 02°38'14" FOR A DISTANCE OF 138.45 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE TO THE SOUTH, THE CENTER OF WHICH BEARS S43°51'22"E AT A DISTANCE OF 883.623"; THENCE NORTHEASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 883.623"; FOR A DISTANCE OF 93.56 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE TO THE NORTH, THE CENTER OF WHICH BEARS N00°21'28"W AT A DISTANCE OF 3,008.00 FEET; THENCE EASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 02°8'03" FOR A DISTANCE OF 24.54 FEET TO A POINT ON THE NORTH-SOUTH MID-SECTION LINE OF SAID SECTION 13; THENCE S00°49'31"E, ALONG SAID NORTH-SOUTH MID-SECTION LINE AND NOT TANGENT TO SAID CURVE, FOR A DISTANCE OF 1,414.16 FEET TO THE CENTER OF SAID SECTION 13; THENCE S89°26'09"W, ALONG THE EAST-WEST MID-SECTION LINE OF SAID SECTION 13, FOR A DISTANCE OF 1,697.83 FEET TO THE SOUTHEAST CORNER OF TRACT 36 OF A FINAL PLAT OF ELLIOT GROVES AT MORRISON RANCH - PHASE 1, AS SHOWN IN BOOK 1112, PAGE 3, OFFICIAL RECORDS OF MARICOPA COUNTY; THENCE N00°32'40"W, ALONG THE EAST LINE OF SAID TRACT 36, FOR A DISTANCE OF 182.79 FEET TO A POINT ON THE SOUTH LINE OF TRACT 33 OF SAID FINAL PLAT, SAID POINT BEING ON A NON-TANGENT CURVE, CONCAVE TO THE NORTH, THE CENTER OF WHICH BEARS N00°23'10"W, AT A DISTANCE OF 113.33 FEET; THENCE EASTERLY, ALONG SAID SOUTH LINE AND THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 24°24'44" FOR A DISTANCE OF 48.29 FEET TO THE BEGINNING OF A REVERSE CURVE, CONCAVE TO THE SOUTH, THE CENTER OF WHICH BEARS S32°47'54"E AT A DISTANCE OF 165.33 FEET; THENCE EASTERLY, ALONG SAID SOUTH LINE AND THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 32°15'14" FOR A DISTANCE OF 93.07 FEET; THENCE N89°27'20"E, TANGENT TO SAID CURVE AND ALONG SAID SOUTH LINE, FOR A DISTANCE OF 262.64 FEET TO A POINT ON THE WEST LINE OF THE EAST HALF OF THE NORTHWEST QUARTER OF SAID SECTION 13 COINCIDENT WITH THE EAST BOUNDARY LINE OF SAID FINAL PLAT OF ELLIOT GROVES AT MORRISON RANCH - PHASE 1; THENCE N00°45'50"W ALONG SAID WEST LINE, FOR A DISTANCE OF 2,408.02 FEET TO THE POINT OF BEGINNING.

**BASIS OF BEARING**

THE BASIS OF BEARING IS THE NORTH LINE OF THE NORTHWEST QUARTER, SECTION 13, T1S, R6E  
BASIS OF BEARING = N89°27'20"E

**DEVELOPER/OWNER**

MORRISON RANCH, INC.  
3180 E. ELLIOT ROAD  
GILBERT, AZ 85234  
480.813.8234

**ACREAGE**

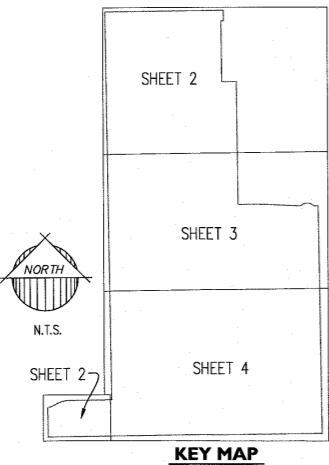
GROSS: 65.9821 ACRES  
NET: 48.4826 ACRES EXCLUDES ALL  
RIGHT-OF-WAY

**TRACT USE TABLE**

Tract #	Use	Acres
1, 3, 5-8, 10, 12, 13, 16, 17 & 19-25	LANDSCAPE	2.2674
11, 14 & 15	LANDSCAPE, RETENTION & PEDESTRIAN ACCESS EASEMENT	4.1906
9	LANDSCAPE & PEDESTRIAN ACCESS EASEMENT	0.6866
2 & 18	LANDSCAPE, RETENTION, PEDESTRIAN ACCESS EASEMENT & RECREATION	1.1587
4	LANDSCAPE, PEDESTRIAN ACCESS EASEMENT & INGRESS/EGRESS EASEMENT	0.5136
	Total	9.1769

**LEGEND**

- Found monument, as noted
- Corner of Subdivision
- Brass Cap to be set at Construction
- BC Brass Cap
- BCH Brass Cap in a Hand Hole
- Bk. Book
- Doc. Document
- Esmt. Easement
- Fd. Found
- Ex. Existing
- MCR Maricopa County Recorder
- No. Number
- Pg. Page
- PUE Public Utility Easement
- R/W Right-of-Way
- RWCD Roosevelt Water Conservation District
- VNAE Vehicular Non-Access Easement



# A FINAL PLAT OF Elliot Groves at Morrison Ranch - Phase 2

A portion of the West Half of the Northwest Quarter of Section 13, Township 1 South, Range 6 East, of the Gila and Salt River Meridian, Maricopa County, Arizona

**DEDICATION**

KNOW ALL MEN BY THESE PRESENTS: THAT MORRISON RANCH, INC., AN ARIZONA CORPORATION, AS OWNER HAS SUBDIVIDED UNDER THE NAME OF ELLIOT GROVES AT MORRISON RANCH - PHASE 2, A PARCEL OF LAND LYING WITHIN SECTION 13, TOWNSHIP 1 SOUTH, RANGE 6 EAST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, AND DOES HEREBY PUBLISH THIS PLAT AS AND FOR THE PLAT OF SAID ELLIOT GROVES AT MORRISON RANCH - PHASE 2, AND HEREBY DECLARIES THAT SAID PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF EACH LOT, TRACT, STREET AND PARCEL, AND THAT EACH LOT, TRACT, STREET AND PARCEL SHALL BE KNOWN BY THE NAME AND / OR NUMBER GIVEN TO EACH RESPECTIVELY. TRACTS 1 THROUGH 36 SHALL BE OWNED, LANDSCAPED AND MAINTAINED BY THE ELLIOT GROVES COMMUNITY ASSOCIATION. A LANDSCAPE EASEMENT IS HEREBY GRANTED OVER THE ENTIRE AREA OF TRACTS 1 THROUGH 25. THE STREETS SHOWN HEREIN ARE HEREBY DEDICATED TO THE TOWN OF GILBERT.

PUBLIC UTILITY EASEMENTS ARE DEDICATED FOR THE BENEFIT OF PUBLIC UTILITIES AND ARE LOCATED WHERE SHOWN IN, OVER, AND UNDER THE AREAS DESIGNATED AS SUCH HERON, FOR THE INSTALLATION, MAINTENANCE, REPAIR AND REMOVAL OF NECESSARY UTILITIES. PUBLIC UTILITIES LOCATING UTILITY FACILITIES IN THIS PUBLIC UTILITY EASEMENT SHALL COMPLY WITH THE CODES AND REGULATIONS OF THE TOWN OF GILBERT, ARIZONA. SUCH PUBLIC UTILITIES SHALL BE AND REMAIN RESPONSIBLE FOR THE CONSTRUCTION, OPERATION AND MAINTENANCE AND REPAIR OF THEIR UTILITY FACILITIES.

OWNER WARRANTS AND REPRESENTS TO THE TOWN OF GILBERT TO BE THE SOLE OWNER OF THE PROPERTY COVERED HEREBY AND THAT EVERY LENDER, EASEMENT HOLDER, OR OTHER PERSON, OR ENTITY, HAVING ANY INTEREST IN THE LAND ADVERSE TO OR INCONSISTENT WITH THE DEDICATIONS, CONVEYANCES, OR OTHER REAL PROPERTY INTEREST CREATED OR TRANSFERRED BY THIS PLAT HAS CONSENTED TO, OR JOINED IN THIS PLAT, AS EVIDENCED BY INSTRUMENTS WHICH ARE RECORDED WITH THE MARICOPA COUNTY RECORDER'S OFFICE, OR WHICH OWNER WILL RECORD NOT LATER THAN DATE ON WHICH THIS PLAT IS RECORDED.

IN WITNESS WHEREOF: MORRISON RANCH, INC., AN ARIZONA CORPORATION,, AS OWNER HAS HEREBUNO CAUSED THEIR NAME TO BE AFFIXED AND THE SAME TO BE ATTESTED BY THE SIGNATURE OF THE UNDERSIGNED OFFICER THEREUNTO DULY AUTHORIZED THIS \_\_\_\_ DAY OF \_\_\_\_\_.

BY: MORRISON RANCH, INC., AN ARIZONA CORPORATION,  
AS OWNER.

BY: \_\_\_\_\_

ITS: \_\_\_\_\_

**ACKNOWLEDGMENT**

STATE OF ARIZONA )  
COUNTY OF MARICOPA ) S.S.

ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY APPEARED \_\_\_\_\_ WHO ACKNOWLEDGED HIMSELF TO BE \_\_\_\_\_ OF MORRISON RANCH, INC., AN ARIZONA CORPORATION, BEING DULY AUTHORIZED SO TO DO, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES HEREIN CONTAINED.

IN WITNESS WHEREOF, I HEREBUNO SET MY HAND AND OFFICIAL SEAL.

BY: \_\_\_\_\_  
NOTARY PUBLIC DATE  
MY COMMISSION EXPIRES: \_\_\_\_\_

**APPROVALS**

APPROVED BY THE MAYOR AND TOWN COUNCIL OF THE TOWN OF GILBERT, ARIZONA THIS \_\_\_\_ DAY OF \_\_\_\_\_

BY: \_\_\_\_\_ ATTEST: \_\_\_\_\_  
MAYOR TOWN CLERK

APPROVED BY: \_\_\_\_\_  
PLANNING MANAGER DATE

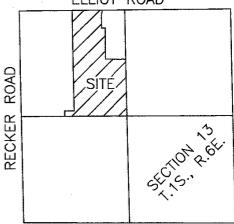
APPROVED BY: \_\_\_\_\_  
TOWN ENGINEER DATE

**GENERAL NOTES**

- CONSTRUCTION WITHIN PUBLIC EASEMENTS, EXCEPT BY PUBLIC AGENCIES AND UTILITY COMPANIES, SHALL BE LIMITED TO UTILITIES AND WOOD, WIRE OR REMOVABLE SECTION TYPE FENCING UNLESS APPROVED OTHERWISE BY THE TOWN OF GILBERT.
- ALL UTILITIES SHALL BE CONSTRUCTED UNDERGROUND.
- ALL ELECTRIC AND COMMUNICATION LINES TO BE CONSTRUCTED UNDERGROUND AS REQUIRED BY THE ARIZONA CORPORATION COMMISSION.
- THE TOWN OF GILBERT IS NOT RESPONSIBLE FOR AND WILL NOT ACCEPT MAINTENANCE OF ANY PRIVATE STREETS, PRIVATE UTILITIES, PRIVATE FACILITIES, AND LANDSCAPED AREAS WITHIN THE PROJECT. MORRISON RANCH COMMUNITY COUNCIL SHALL BE RESPONSIBLE FOR PRIVATE STREETS, PRIVATE UTILITIES, PRIVATE FACILITIES, AND LANDSCAPED AREAS WITHIN THE PROJECT.
- A HOMEOWNERS ASSOCIATION SHALL MAINTAIN PRIVATE UTILITIES, PRIVATE FACILITIES, COMMON AREA LANDSCAPING AND LANDSCAPING IN THE RIGHT-OF-WAY ADJACENT TO THE PROJECT. THE TOWN OF GILBERT IS NOT RESPONSIBLE FOR AND WILL NOT ACCEPT MAINTENANCE OF SUCH UTILITIES.
- ALL RETENTION BASINS MUST DRAIN ANY STORM EVENT UP TO AND INCLUDING THE ONE-YEAR, 24 HOUR STORM WITHIN 36 HOURS. OWNER(S) OF ANY BASIN FAILING TO MEET THIS REQUIREMENT MUST TAKE CORRECTIVE ACTION TO BRING THE BASIN INTO COMPLIANCE.
- ALL PROPERTIES PLATTED HEREON ARE SUBJECT TO AN ANNUAL STREET LIGHT IMPROVEMENT DISTRICT ASSESSMENT.
- ALL DRYWELLS SHOWN ON THIS PROJECT SHALL BE MAINTAINED BY THE OWNER AND ARE TO BE REPLACED BY THE OWNER(S) WHEN THEY CEASE TO DRAIN THE SURFACE WATER IN A 36 HOUR PERIOD. REGULAR MAINTENANCE OF THE DRYWELL SILTING CHAMBER IS REQUIRED TO ACHIEVE THE BEST OPERATION OF THE DRYWELL.
- A #4 REBAR 18" IN LENGTH WILL BE SET AT EACH PROPERTY CORNER.
- AN AVIATION EASEMENT AND RELEASE FOR THIS PLAT IS RECORDED AS DOCUMENT NUMBER 2012-0310429 WITH THE MARICOPA COUNTY RECORDER. THIS SUBDIVISION IS WITHIN 2 MILES OF THE PHOENIX-MESA GATEWAY AIRPORT. INFORMATION REGARDING AIRCRAFT OPERATIONS AND AIRPORT DEVELOPMENT IS AVAILABLE THROUGH THE AIRPORT ADMINISTRATION OFFICE.
- THIS PROPERTY, DUE TO ITS PROXIMITY TO PHOENIX-MESA GATEWAY AIRPORT (WILLIAMS GATEWAY AIRPORT), IS LIKELY TO EXPERIENCE AIRCRAFT OVERFLIGHTS, WHICH COULD GENERATE NOISE LEVELS WHICH MAY BE OF CONCERN TO SOME INDIVIDUALS.
- THE CONSTRUCTION, ALTERATION, MOVING AND SUBSTANTIAL REPAIR OF ANY BUILDING OR STRUCTURE IN THE NEW PROJECT SHALL ACHIEVE AN EXTERIOR TO INTERIOR NOISE LEVEL REDUCTION (NLR) OF 20 DECIBELS (dB) OR AN EXTERIOR TO INTERIOR NLR THAT RESULTS IN AN INTERIOR NOISE LEVEL OF 45 DNL OR LESS.
- THIS AREA PLATTED HEREON IS APPROVED AND LIES WITHIN THE DOMESTIC WATER SERVICES OF THE TOWN OF GILBERT WHICH IS DESIGNATED AS HAVING AN ASSURED WATER SUPPLY IN ACCORDANCE WITH ARS 45-576.
- ALL BUILDING SETBACKS SHALL COMPLY WITH COUNCIL ORDINANCE NO. 2295, AS AMENDED.
- MORRISON RANCH COMMUNITY COUNCIL IS RESPONSIBLE FOR MAKING REPAIRS TO LANDSCAPING (INCLUDING TREES, GROUND COVER, GRASS, ETC.), WHERE IT IS DAMAGED DURING REPAIRS TO RWCD PIPE AND APPURTENANCES.

**CERTIFICATION**

I, JOE KRAFT HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR IN THE STATE OF ARIZONA; THAT THIS PLAT CORRECTLY REPRESENTS A SURVEY MADE UNDER MY DIRECTION DURING THE MONTH OF JUNE 2013; THAT THE SURVEY IS TRUE AND CORRECT AS SHOWN; THAT ALL MONUMENTS ACTUALLY EXIST OR WILL BE SET AS SHOWN; THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.



WARNER ROAD  
N.T.S.  
VICINITY MAP

Eps group, Inc.  
Engineers, Planners & Surveyors  
205 S. Vineyard Ave. Ste. 101, Mesa, Arizona 85210  
Phone: (480) 503-2250

Elliot Groves at Morrison Ranch - Phase 2

FINAL PLAT

Revisions:

Arizona 311  
Call at least two full working days  
for a surveyor to respond  
to your request.

Designer: JK  
Drawn by: JK

48-11 or 48-07447-0723-0100  
Maricopa County: (602) 255-1100

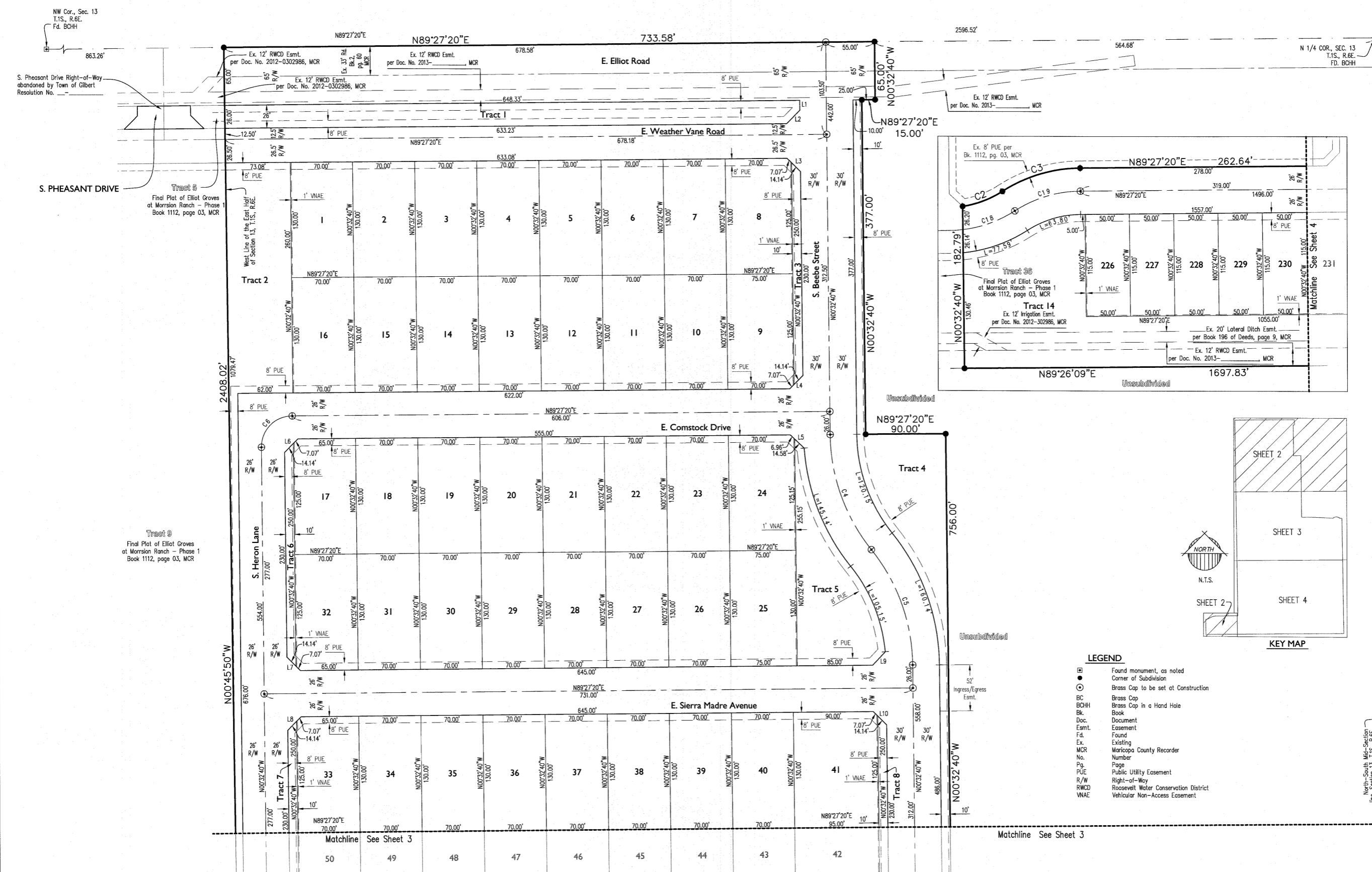
Job No.  
10-004

Sheet No.

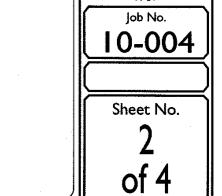
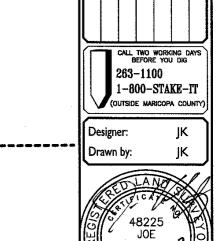
I of 4

ST14-04  
Attachment 3: Plat with affected lots highlighted  
September 11, 2014

10-004



**COUNTY RECORDER**  
Job No. 10-004  
Sheet No. 2 of 4

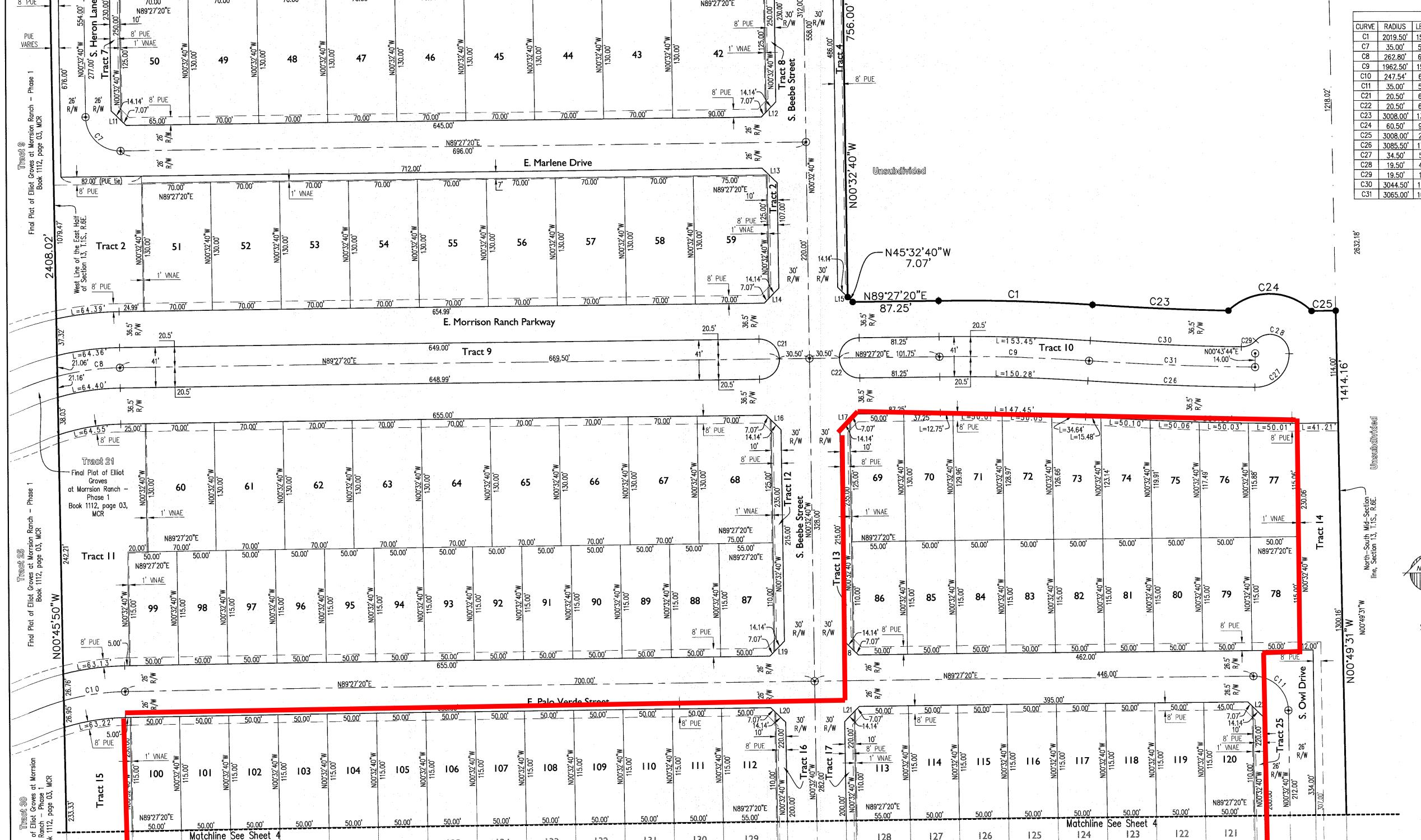


**eps group, Inc.**  
Engineers, Planners & Surveyors  
21501 S. County Club Dr., Ste. 22, Mesa, Arizona 85210  
Phone (480) 303-2250

21501 S. County Club Dr., Ste. 22, Mesa, Arizona 85210  
Fax (480) 303-2250

10-004

Matchline See Sheet 2  
Matchline See Sheet 2



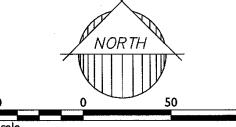
Matchline See Sheet 4  
Matchline See Sheet 4

AREA TABLE		AREA TABLE		AREA TABLE		AREA TABLE	
Lot-1	9,100 s.f.	0.208 acres	Lot-31	9,100 s.f.	0.2080 acres	Lot-91	5,760 s.f.
Lot-2	9,100 s.f.	0.2080 acres	Lot-32	9,087 s.f.	0.2080 acres	Lot-92	5,750 s.f.
Lot-3	9,100 s.f.	0.2080 acres	Lot-33	9,100 s.f.	0.2080 acres	Lot-93	5,750 s.f.
Lot-4	9,100 s.f.	0.2080 acres	Lot-34	9,100 s.f.	0.2080 acres	Lot-94	5,750 s.f.
Lot-5	9,100 s.f.	0.2080 acres	Lot-35	9,100 s.f.	0.2080 acres	Lot-95	5,750 s.f.
Lot-6	9,100 s.f.	0.2080 acres	Lot-36	9,100 s.f.	0.2080 acres	Lot-96	5,750 s.f.
Lot-7	9,100 s.f.	0.2080 acres	Lot-37	9,100 s.f.	0.2080 acres	Lot-97	5,750 s.f.
Lot-8	9,730 s.f.	0.2235 acres	Lot-38	9,100 s.f.	0.2080 acres	Lot-98	5,750 s.f.
Lot-9	9,730 s.f.	0.2235 acres	Lot-39	9,100 s.f.	0.2080 acres	Lot-99	6,312 s.f.
Lot-10	9,100 s.f.	0.2080 acres	Lot-40	12,338 s.f.	0.2832 acres	Lot-100	5,750 s.f.
Lot-11	9,100 s.f.	0.2080 acres	Lot-41	12,338 s.f.	0.2832 acres	Lot-101	5,750 s.f.
Lot-12	9,100 s.f.	0.2080 acres	Lot-42	12,338 s.f.	0.2832 acres	Lot-102	5,750 s.f.
Lot-13	9,100 s.f.	0.2080 acres	Lot-43	9,100 s.f.	0.2080 acres	Lot-103	5,750 s.f.
Lot-14	9,100 s.f.	0.2080 acres	Lot-44	9,100 s.f.	0.2080 acres	Lot-104	5,750 s.f.
Lot-15	9,100 s.f.	0.2080 acres	Lot-45	9,100 s.f.	0.2080 acres	Lot-105	5,750 s.f.
Lot-16	9,100 s.f.	0.2080 acres	Lot-46	9,100 s.f.	0.2080 acres	Lot-106	5,750 s.f.
Lot-17	9,100 s.f.	0.2080 acres	Lot-47	9,100 s.f.	0.2080 acres	Lot-107	5,750 s.f.
Lot-18	9,100 s.f.	0.2080 acres	Lot-48	9,100 s.f.	0.2080 acres	Lot-108	5,750 s.f.
Lot-19	9,100 s.f.	0.2080 acres	Lot-49	9,100 s.f.	0.2080 acres	Lot-109	5,750 s.f.
Lot-20	9,100 s.f.	0.2080 acres	Lot-50	9,087 s.f.	0.2080 acres	Lot-110	5,750 s.f.
Lot-21	9,100 s.f.	0.2080 acres	Lot-51	9,100 s.f.	0.2080 acres	Lot-111	5,750 s.f.
Lot-22	9,100 s.f.	0.2080 acres	Lot-52	9,100 s.f.	0.2080 acres	Lot-112	5,750 s.f.
Lot-23	9,100 s.f.	0.2080 acres	Lot-53	9,100 s.f.	0.2080 acres	Lot-113	5,750 s.f.
Lot-24	9,100 s.f.	0.2080 acres	Lot-54	9,100 s.f.	0.2080 acres	Lot-114	5,750 s.f.
Lot-25	9,750 s.f.	0.2238 acres	Lot-55	9,100 s.f.	0.2080 acres	Lot-115	5,750 s.f.
Lot-26	9,100 s.f.	0.2080 acres	Lot-56	9,100 s.f.	0.2080 acres	Lot-116	5,750 s.f.
Lot-27	9,100 s.f.	0.2080 acres	Lot-57	9,100 s.f.	0.2080 acres	Lot-117	5,750 s.f.
Lot-28	9,100 s.f.	0.2080 acres	Lot-58	9,100 s.f.	0.2080 acres	Lot-118	5,750 s.f.
Lot-29	9,100 s.f.	0.2080 acres	Lot-59	9,738 s.f.	0.2238 acres	Lot-119	5,750 s.f.
Lot-30	9,100 s.f.	0.2080 acres	Lot-60	9,100 s.f.	0.2080 acres	Lot-120	5,750 s.f.

CURVE TABLE				
CURVE	RADIUS	LENGTH	DELTA	TANGENT
C1	2019.50'	156.28'	4°26'02"	N88°19'40"W 156.24'
C7	35.00'	54.98'	9°00'00"	N45°32'40"W 49.50'
C9	1962.50'	151.87'	4°26'02"	75.97' N88°19'40"W 151.83'
C10	247.54'	63.15'	14°37'01"	31.75' N82°08'49"E 62.98'
C11	35.00'	54.98'	9°00'00"	55.00' N45°32'40"W 49.50'
C21	20.50'	64.40'	180°00'00"	INFINITE' N00°32'40"W 41.00'
C22	20.50'	64.40'	180°00'00"	INFINITE' N00°32'40"W 41.00'
C23	3008.00'	138.45'	23°8'44"	69.24' N87°25'46"W 138.44'
C24	60.50'	93.56'	88°36'23"	59.05' N89°33'10"W 84.51'
C25	3008.00'	24.54'	028°03'	12.27' N89°24'30"E 24.54'
C26	3085.50'	170.19'	3°09'37"	85.12' N87°41'28"W 170.17'
C27	34.50'	54.16'	89°56'39"	34.47' N45°45'24"E 48.77'
C28	19.50'	47.02'	138°09'09"	51.00' N68°17'30"W 36.43'
C29	19.50'	16.46'	48°21'45"	8.76' N66°49'48"E 15.98'
C30	3044.50'	153.81'	25°34'41"	76.92' N87°33'29"W 153.80'
C31	3065.00'	169.06'	3°09'37"	84.55' N87°41'28"W 169.04'

LINE TABLE		
LINE	BEARING	LENGTH
L11	N45°32'40"W	21.21'
L12	N44°27'20"E	21.21'
L13	N45°32'40"W	21.21'
L14	N44°27'20"E	21.21'
L15	N45°32'40"W	21.21'
L16	N45°32'40"W	21.21'
L17	N44°27'20"E	21.21'
L18	N45°32'40"W	21.21'
L19	N44°27'20"E	21.21'
L20	N45°32'40"W	21.21'
L21	N44°27'20"E	21.21'
L22	N45°32'40"W	21.21'

LEGEND	
Found monument, as noted	
Corner of Subdivision	
Brass Cap to be set at Construction	
Brass Cap	
BCHH	Brass Cap in a Hand Hole
Book	Document
Doc.	Easement
esmt.	Found
Fd.	Existing
Ex.	Maricopa County Recorder
MCR	Number
No.	Page
Pg.	Public Utility Easement
PUE	Right-of-Way
R/W	Roosevelt Water Conservation District
RWCD	Vehicular Non-Access Easement



RECEIVED	REGISTRATION NO. 48225
JOE KRAFT	EXPIRES 9/30/2014
JK	JK
1-800-STAKE-IT	10-004
(OUTSIDE MARICOPA COUNTY)	Sheet No. 3 of 4

eps group, Inc.  
Engineers, Planners & Surveyors  
2101 S. Country Club Dr., Ste. 22, Mesa, Arizona 85210  
Phone (480) 303-2250 Fax (480) 303-2250

Final Plat  
at Morrison Ranch - Phase 2

Project:  
Revisions:

CALL BEFORE WORKING DAY'S  
BEFORE YOU DO  
1-800-STAKE-IT

10-004

0-004

Tract 33  
Final Plot of Elliot Grove  
at Morrison Ranch - Phase  
Book 1112, page 03, MC

Tract 30  
Final Plat of Elliot Groves  
at Morrison Ranch - Phase 1  
Book 1112, page 03, MCR

P-3

卷之三

N00°45'50" W

**Matchline See Sh**

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD DIR.	CHG.
C12	35.00'	54.98'	90°00'00"	35.00'	N44°27'20"E	49
C13	159.99'	68.43'	24°30'25"	34.75'	N77°12'07"E	67
C14	189.05'	123.62'	37°28'00"	64.11'	N19°16'40"W	121
C15	189.05'	123.62'	37°28'00"	64.11'	N19°16'40"W	121
C16	35.00'	54.98'	90°00'00"	35.00'	N44°27'20"E	49
C17	35.00'	54.98'	90°00'00"	35.00'	N45°32'20"E	49
C20	35.00'	54.98'	90°00'00"	35.00'	N44°27'20"E	49

LINE TABLE		
	BEARING	LENGTH
13	N44°27'20"E	21.21'
14	N45°32'40"W	21.21'
15	N44°27'20"E	21.21'
16	N46°31'32"W	21.57'
17	N43°06'15"E	20.71'
18	N43°06'15"E	20.71'
19	N46°31'32"W	21.57'
20	N44°27'20"E	21.21'
21	N45°32'40"W	21.21'
22	N45°32'40"W	21.21'
23	N44°27'20"E	21.21'
24	N45°32'40"W	21.21'
25	N44°27'20"E	21.21'
26	N44°27'20"E	21.21'
27	N45°32'40"W	21.21'
28	N44°27'20"E	21.21'

The diagram illustrates an architectural floor plan divided into three sections: SHEET 2 (top), SHEET 3 (middle), and SHEET 4 (bottom). A north arrow on the left is labeled "NORTH" and "N.T.S.". At the bottom right, a "KEY MAP" provides a legend for the sheet layout:

- SHEET 2: Represented by a rectangle with a diagonal line through it.
- SHEET 3: Represented by a rectangle with a horizontal line through it.
- SHEET 4: Represented by a rectangle with a vertical line through it.

**LEGEND**

Found monument, as noted  
Corner of Subdivision  
Brass Cap to be set at Construction  
Brass Cap  
Brass Cap in a Hand Hole  
Book  
Document  
Easement  
Found  
Existing  
Maricopa County Recorder  
Number  
Page  
Public Utility Easement  
Right-of-Way  
Roosevelt Water Conservation District  
Vehicular Non-Access Basement

E 1/4 COR., SEC. 13  
T.1S., R.6E.  
FD. BCHH

COUNTY RECORDER

**eps group, Inc.**  
Engineers, Planners & Surveyors

**Illiot Groves  
Con Ranch - Phase**

Project: \_\_\_\_\_  
Revision: \_\_\_\_\_

The logo consists of a stylized lowercase 'j' character on the left, followed by the words "CALL TWO WORDS" stacked vertically, and the phone number "263-1100" below it.

Drawn by:

Job No.  
**10-0**  
Sheet N  
4  
of 4

September 11, 2014

morrison

Homes Inspired by You

9000 E. Pima Center Parkway, Suite 350  
Scottsdale, Arizona 85258

0 30 60

SCALE: 1"=30'-0"

## TYPICAL PLOT PLAN

NOT CONSTRUCTION

**GRADING AND DRAINAGE ACKNOWLEDGMENT –**  
LOTS HAVE BEEN DESIGNED TO PROVIDE DRAINAGE FROM THE LOT TO A STREET OR DIRECTLY TO A WASH/OPEN SPACE AREA. THE OWNER SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE FINISH GRADE CAUSED BY LANDSCAPING AFTER CLOSE OF ESCROW.

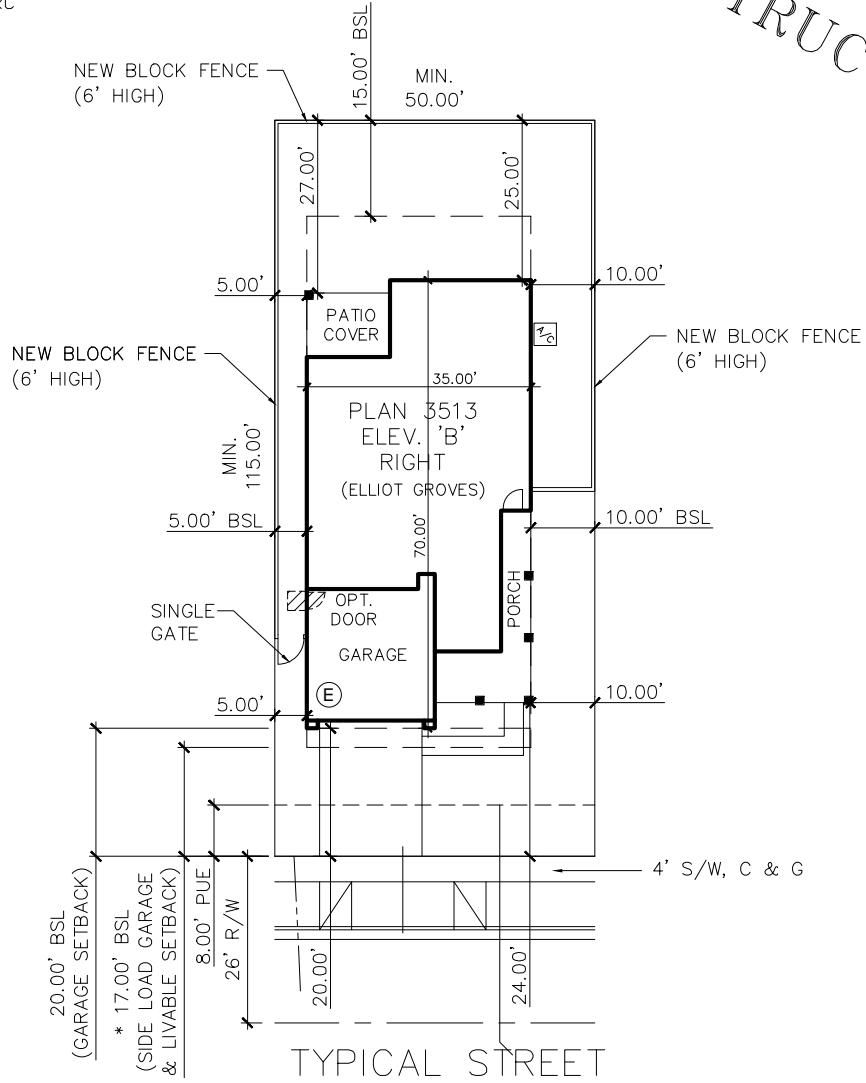
INITIALS: \_\_\_\_\_ INITIALS: \_\_\_\_\_

DATE DRAWN: 5/19/14

REVISION DATE: 7/15/14

**GENERAL NOTE:**

NO PART OF THE STRUCTURE WILL ENCROACH INTO THE 5' FIRE SEPARATION DISTANCE PER 2012 IRC R302 U.N.O.



COORDINATE ALL EASEMENTS (U.B.E., P.U.E., N.V.A.E., ETC.) w/ APPROVED PLAT –  
TYPICAL

STANDARD ENTRY / PORCH: 223 SQ.FT.  
STANDARD PATIO: 130 SQ.FT.  
STANDARD GARAGE: 414 SQ.FT.  
STANDARD LIVABLE 1st Flr: 1574 SQ.FT.  
STANDARD LIVABLE 2nd Flr: 0 SQ.FT.  
ARCH. PROJECTIONS: 0 SQ.FT.  
TOTAL LIVABLE : 1574 SQ.FT.  
TOTAL UNDER ROOF : 2341 SQ.FT.  
TOTAL 1st FLOOR FOOTPRINT: 2341 SQ.FT.  
LOT : 5750 SQ.FT.  
LOT COVERAGE : 41% (60% MAX.)

OPTIONS: (AFFECTING FOOTPRINT ONLY)  
(L) LIVABLE SQUARE FOOTAGE  
(NL) NON-LIVABLE SQUARE FOOTAGE  
OPT. DOOR +0 (L) +0 (NL)  
(L) (NL)  
(L) (NL)  
(L) (NL)

TOTALS: (L) (NL)

FINISH FLOOR ELEVATION:

FINISH PAD ELEVATION:

## SF-D MIN. BUILDING SETBACKS:

FRONT LOAD GARAGE = 20'  
\* SIDE ENTRY GARAGE = 10'  
\* FRONT LIVABLE / PORCH = 10'  
REAR = 15' (1-STORY) 15' (2-STORY)  
SIDES = 5' & 10' (15 TOTAL)  
\* BUILDER IMPOSED SETBACK  
\*\* 3' STAGGER REQ. FOR EVERY THIRD LOT

LINEAL FEET OF FENCE: 206 L.F.

CONCRETE DRIVE / WALK : 402 SQ.FT.

## LEGEND

- ARCHITECTURAL OPTIONS
- S.D.T. SITE VISIBILITY TRIANGLE
- W.M.E. WALL MAINTENANCE EASEMENT
- N.V.A.E. NON-VEHICULAR ACCESS EASE.
- P.U.E. PUBLIC UTILITY EASEMENT
- B.S.L. BUILDING SETBACK LINE
- FIRE HYDRANT
- ELECTRIC SVC LOC
- JUNCTION BOX LOC
- STREET LIGHT LOC

SUBDIVISION **ELLIOT GROVES** PARCEL **2C** ADDRESS **TYPICAL ADDRESS**  
LOT **LOT** TYP. **MODEL** **3513** ELEVATION **B**



**Rear Elevation**

scale: 3/16" = 1'-0"



**Right Side Elevation**

scale: 3/16" = 1'-0"



**Left Side Elevation**

scale: 3/16" = 1'-0"



**Front Elevation**

scale: 3/16" = 1'-0"

## **3513 - Elevation 'B' - Ranch**

Color Scheme 10



**Rear Elevation**

scale: 3/16" = 1'-0"



**Right Side Elevation**

scale: 3/16" = 1'-0"



**Left Side Elevation**

scale: 3/16" = 1'-0"



**Front Elevation**

scale: 3/16" = 1'-0"

## 3513 - Elevation 'C' - Craftsman

Color Scheme 2



**Rear Elevation**

scale: 3/16" = 1'-0"



**Right Side Elevation**

scale: 3/16" = 1'-0"



**Left Side Elevation**

scale: 3/16" = 1'-0"

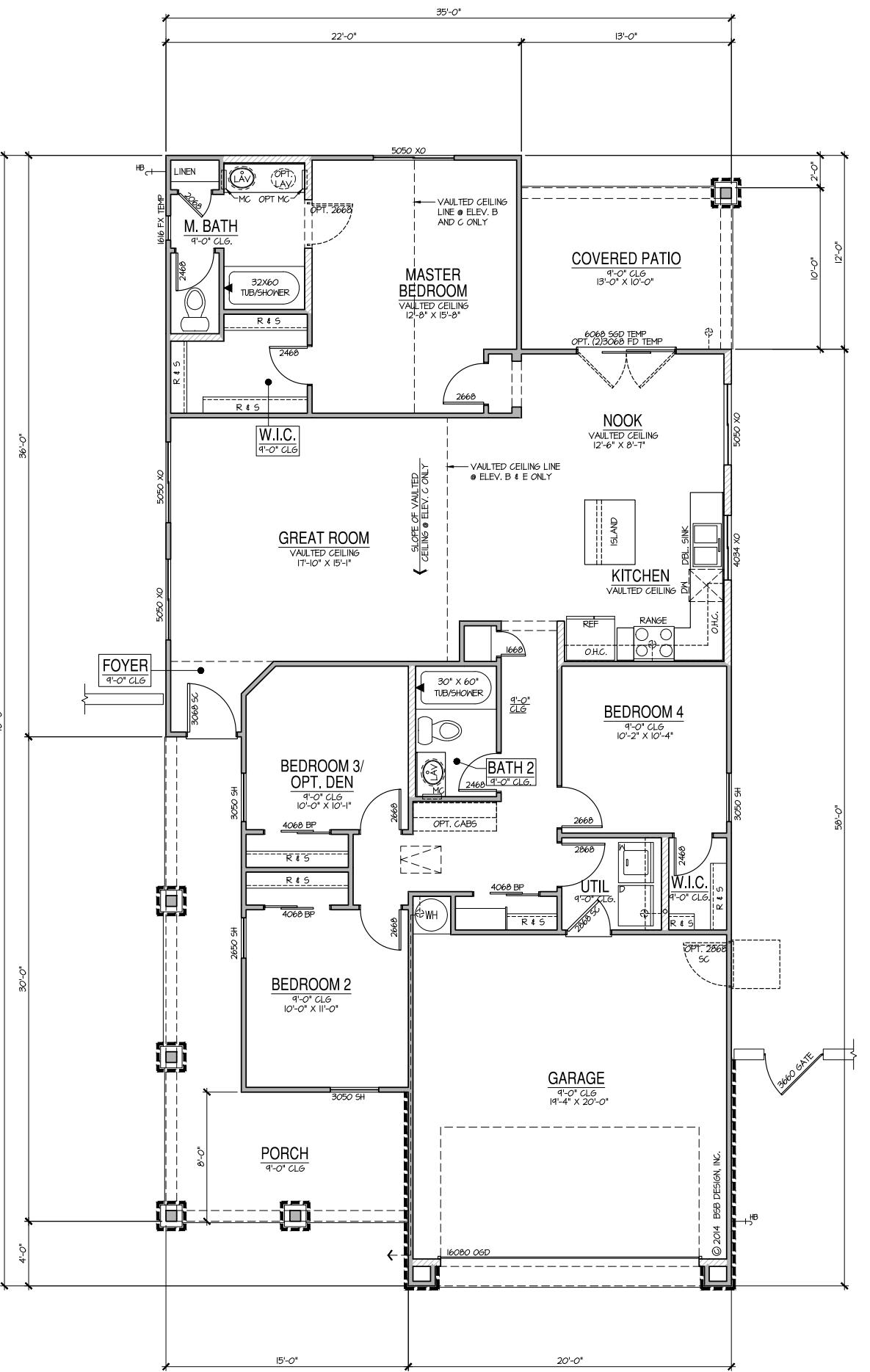


**Front Elevation**

scale: 3/16" = 1'-0"

## **3513 - Elevation 'E' - Prairie**

Color Scheme 7



**Elevation B - Ranch  
Main Floor Plan**

SCALE: 1/4"=1'-0"

WALL LEGEND			
2 x 4 WALL		LIVEABLE	UNDER
2 x 6 WALL		SQ. FT.	ROOF
BRICK/STONE			
VEENEER			
AREA SCHEDULE - PLAN 3513			
ALL ELEVATIONS:			
(A)	MAIN FLOOR LIVING AREA	1514	1514
(B)	2-CAR GARAGE		414
(C)	COVERED PATIO		180
(D)	COVERED PORCH		223
		TOTAL	1514 2341
OPTIONS:			
(E)	OPT. DEN I.L.O. BED 3		+0

## ELLiot GROVES - PARCEL 2C 3500 SERIES GILBERT, ARIZONA



www.bsbdesign.com  
6125 E. Indian School Road, Suite 1001  
Scottsdale, Arizona 85251  
480 663 2100

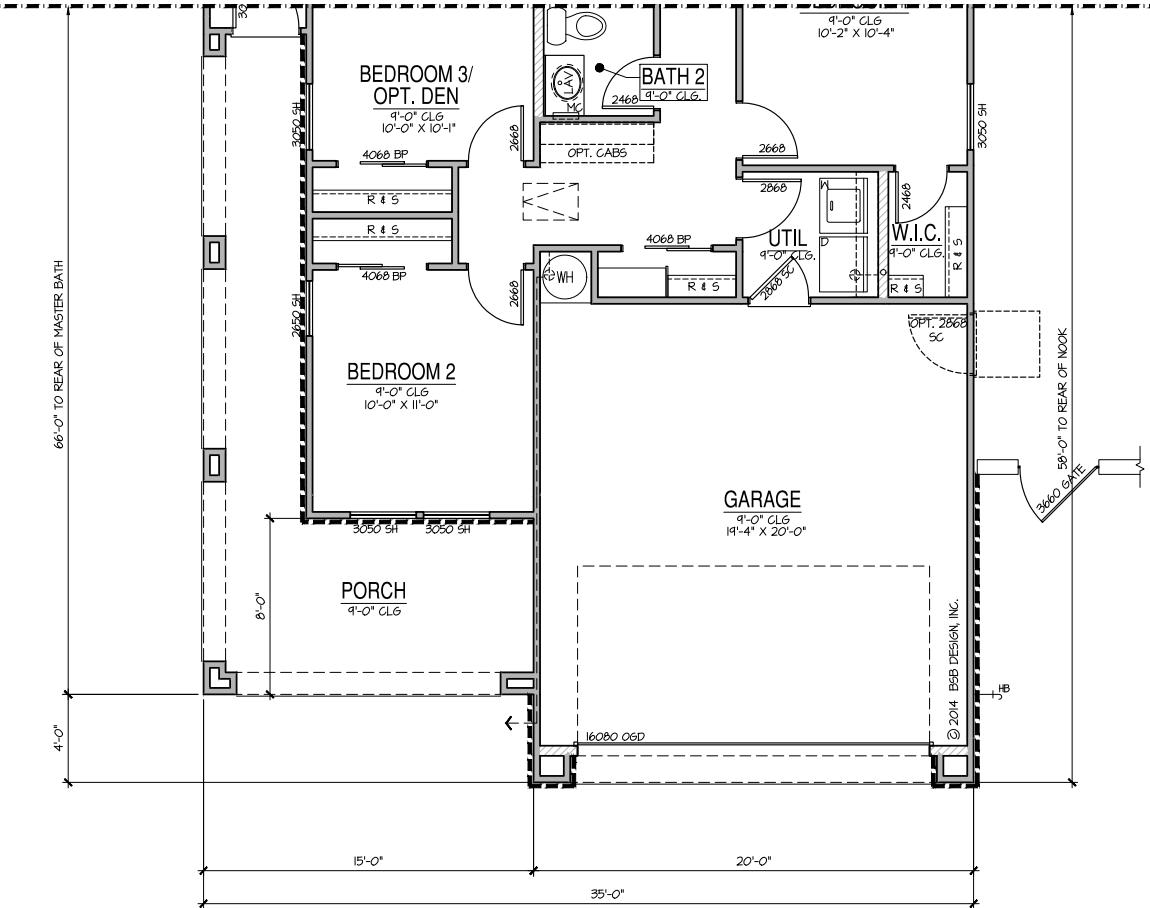
JOB NO: 04P4003 PROJ MGR: BVM  
DRAWN: MJT CHECKED:  
MAIN FLOOR PLAN:  
ELEVATION B - RANCH

PLAN 3513

A1.1

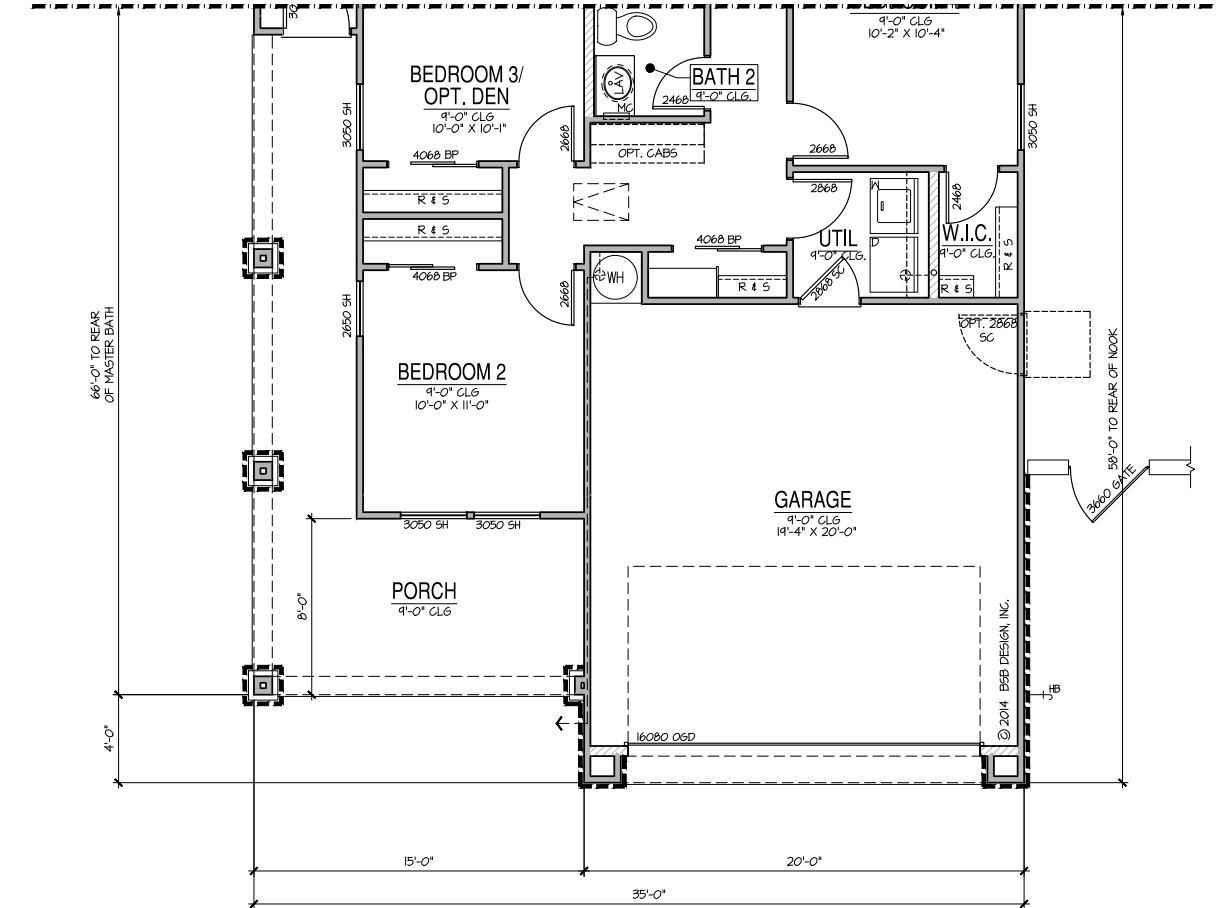
ISSUE DATE: 06.04.14  
REVISIONS  
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ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF  
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9000 E. Pima Center Parkway Ste. 350  
Scottsdale, Arizona 85258  
480-344-7000



**Elevation E - Prairie**

SCALE: 1/4"=1'-0"



**Elevation C - Craftsman**

SCALE: 1/4"=1'-0"

WALL LEGEND	
2 x 4 WALL	
2 x 6 WALL	
BRICK/STONE VENEER	

## ELLiot GROVES - PARCEL 2C

### 3500 SERIES

GILBERT, ARIZONA



**BSB  
DESIGN**

www.bsbdesign.com

6125 E. Indian School Road, Suite 1001  
Scottsdale, Arizona 85251  
480 663 2100

JOB NO: 04P4003 PROJ MGR: BVM  
DRAWN: MJT CHECKED:  
PARTIAL MAIN FLOOR PLANS  
ELEVATION C - CRAFTSMAN  
ELEVATION E - PRAIRIE

PLAN 3513

**A1.2**

**Partial Main Floor Plans**  
AS NOTED

ISSUE DATE: 06.04.14  
REVISIONS  
\*SEE SHEET IS FOR REVISED\*\*

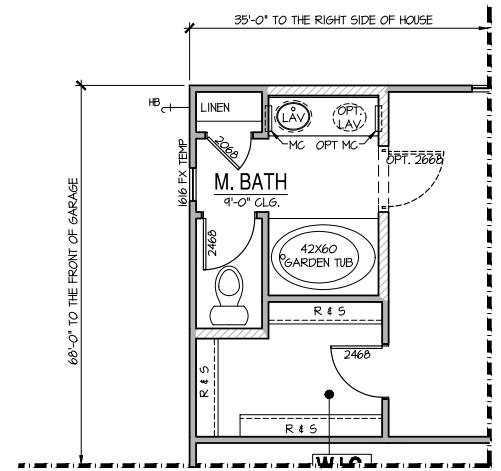
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480-344-7000

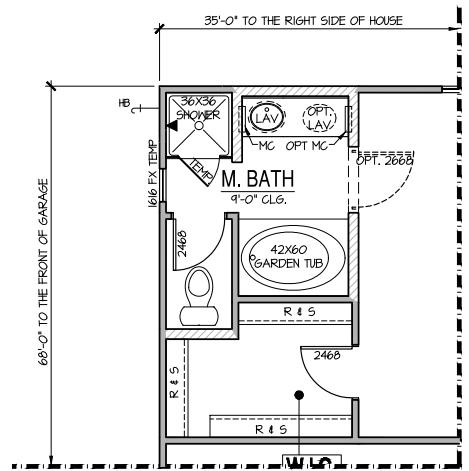
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 Scottsdale, Arizona 85258  
 480-344-7000



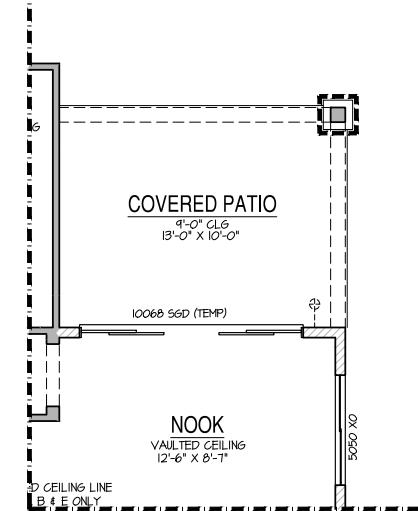
**Opt. Garden Tub @ Master Bath**

SCALE: 1/4"=1'-0"



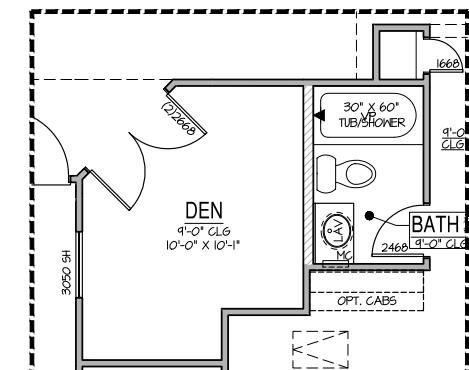
**Opt. Shower w/ Garden Tub @ Master Bath**

SCALE: 1/4"=1'-0"



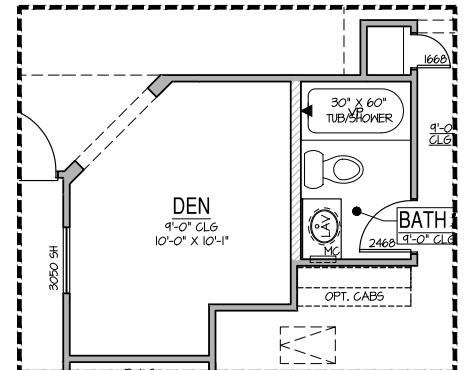
**Opt. Multi-Slide Door**

SCALE: 1/4"=1'-0"



**Opt. Den w/ DBL. Doors I.L.O. Bedroom 3**

SCALE: 1/4"=1'-0"



**Opt. Den I.L.O. Bedroom 3**

SCALE: 1/4"=1'-0"

WALL LEGEND	
2 x 4 WALL	
2 x 6 WALL	
BRICK/STONE VENEER	

## ELLIOT GROVES - PARCEL 2C

### 3500 SERIES

GILBERT, ARIZONA



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 480 663 2100

JOB NO: 04P14003 PROJ MGR: BVM  
 DRAWN: MJT CHECKED:  
 PARTIAL MAIN FLOOR PLAN OPTIONS

PLAN 3513  
**A1.3**

**Partial Main Floor Plan Options**  
 AS NOTED

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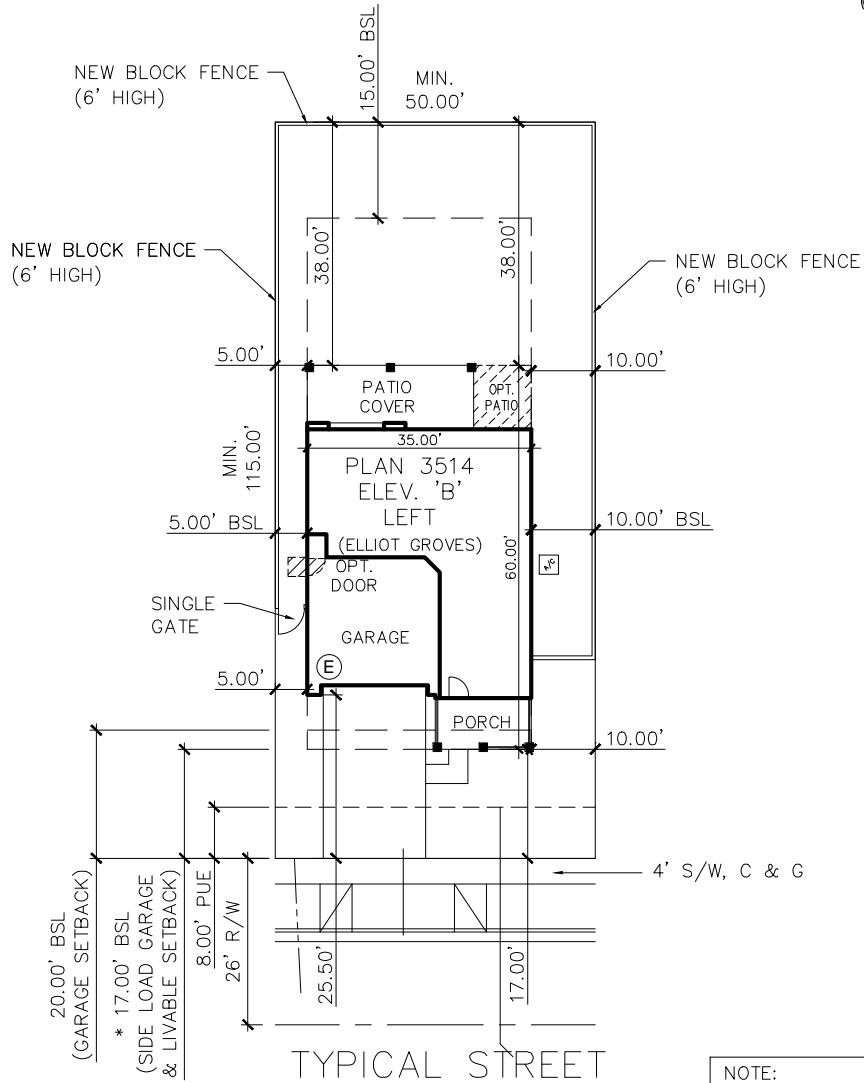


0 30 60

SCALE: 1"=30'-0"

**TYPICAL PLOT PLAN**

*NOT CONSTRUCTION*



COORDINATE ALL EASEMENTS (U.B.E., P.U.E., N.V.A.E., ETC.) w/ APPROVED PLAT – TYPICAL

\*\*\*NOTE:  
OPTION(s) USED TO CALCULATE TOTAL  
MAXIMUM LIVABLE AND UNDER ROOF SQ. FT.

NOTE:  
FENCE LINES AND RETAINING WALLS MAY VARY BASED ON EXISTING FIELD CONDITIONS. ALL MEASUREMENTS, ORIENTATION, AND UTILITY LOCATIONS ARE APPROXIMATE. FIELD SUPERINTENDENT TO VERIFY PRIOR TO START OR CONSTRUCTION.

STANDARD ENTRY / PORCH:	120 SQ.FT.	OPTIONS: (AFFECTING FOOTPRINT ONLY)	SF-D MIN. BUILDING SETBACKS:
STANDARD PATIO:	245 SQ.FT.	(L) LIVABLE SQUARE FOOTAGE	FRONT LOAD GARAGE = 20'
STANDARD GARAGE:	422 SQ.FT.	(NL) NON-LIVABLE SQUARE FOOTAGE	* SIDE ENTRY GARAGE = 10'
STANDARD LIVABLE 1st Flr:	1006 SQ.FT.	***OPT. PATIO 1 +0(L) +90(NL)	* FRONT LIVABLE / PORCH = 10'
STANDARD LIVABLE 2nd Flr:	1387 SQ.FT.	OPT. DOOR +0(L) +0(NL)	REAR = 15' (1-STORY) 15' (2-STORY)
ARCH. PROJECTIONS:	0 SQ.FT.	(L) (NL)	SIDES = 5' & 10' (15 TOTAL)
TOTAL LIVABLE :	2393 SQ.FT.	TOTALS: (L) (NL)	* BUILDER IMPOSED SETBACK
TOTAL UNDER ROOF :	3270 SQ.FT.	FINISH FLOOR ELEVATION:	** 3' STAGGER REQ. FOR EVERY THIRD LOT
TOTAL 1st FLOOR FOOTPRINT:	1883 SQ.FT.	FINISH PAD ELEVATION:	LINEAL FEET OF FENCE: 223 L.F.
LOT :	5750 SQ.FT.		CONCRETE DRIVE / WALK : 459 SQ.FT.
LOT COVERAGE :	33% (50% MAX.)		

**LEGEND**

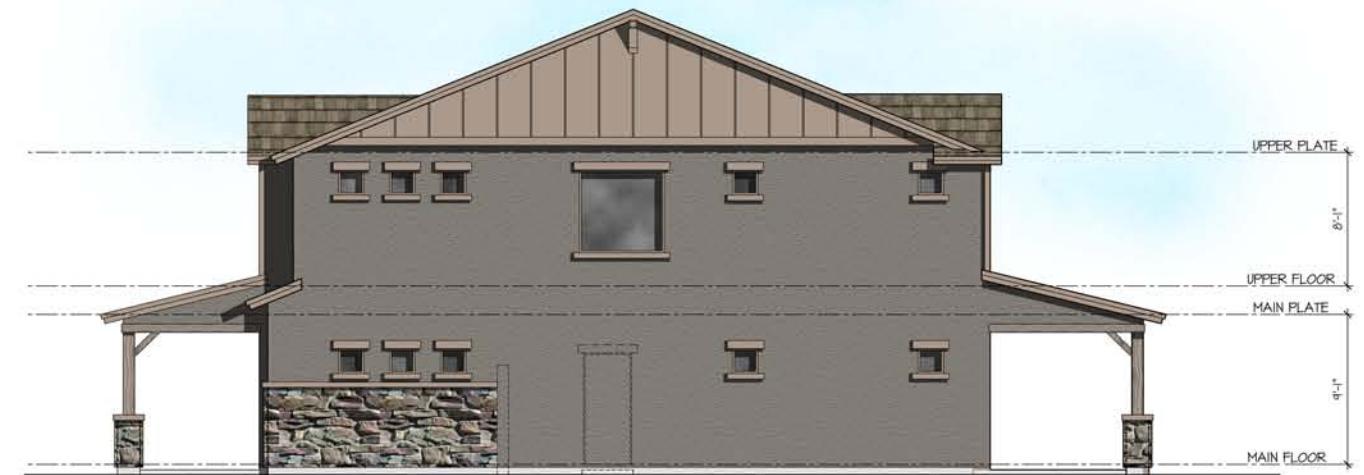
- [Hatched Box] ARCHITECTURAL OPTIONS
- [Triangle] SITE VISIBILITY TRIANGLE
- [W.M.E.] WALL MAINTENANCE EASEMENT
- [N.V.A.E.] NON-VEHICULAR ACCESS EASE.
- [P.U.E.] PUBLIC UTILITY EASEMENT
- [B.S.L.] BUILDING SETBACK LINE
- [Fire Hydrant] FIRE HYDRANT
- [Electric Svc Loc] ELECTRIC SVC LOC
- [Junction Box Loc] JUNCTION BOX LOC
- [Street Light Loc] STREET LIGHT LOC

SUBDIVISION **ELLIOT GROVES** PARCEL **2C** ADDRESS **TYPICAL ADDRESS**  
LOT **TYP.** MODEL **3514** ELEVATION **B**



**Rear Elevation**

scale: 3/16" = 1'-0"



**Right Side Elevation**

scale: 3/16" = 1'-0"



**Left Side Elevation**

scale: 3/16" = 1'-0"



**Front Elevation**

scale: 3/16" = 1'-0"

## 3514 - Elevation 'B' - Ranch

Color Scheme 12



**Rear Elevation**

scale: 3/16" = 1'-0"



**Right Side Elevation**

scale: 3/16" = 1'-0"



**Left Side Elevation**

scale: 3/16" = 1'-0"



**Front Elevation**

scale: 3/16" = 1'-0"

## 3514 - Elevation 'C' - Craftsman

Color Scheme 3



**Rear Elevation**

scale: 3/16" = 1'-0"



**Right Side Elevation**

scale: 3/16" = 1'-0"



**Left Side Elevation**

scale: 3/16" = 1'-0"

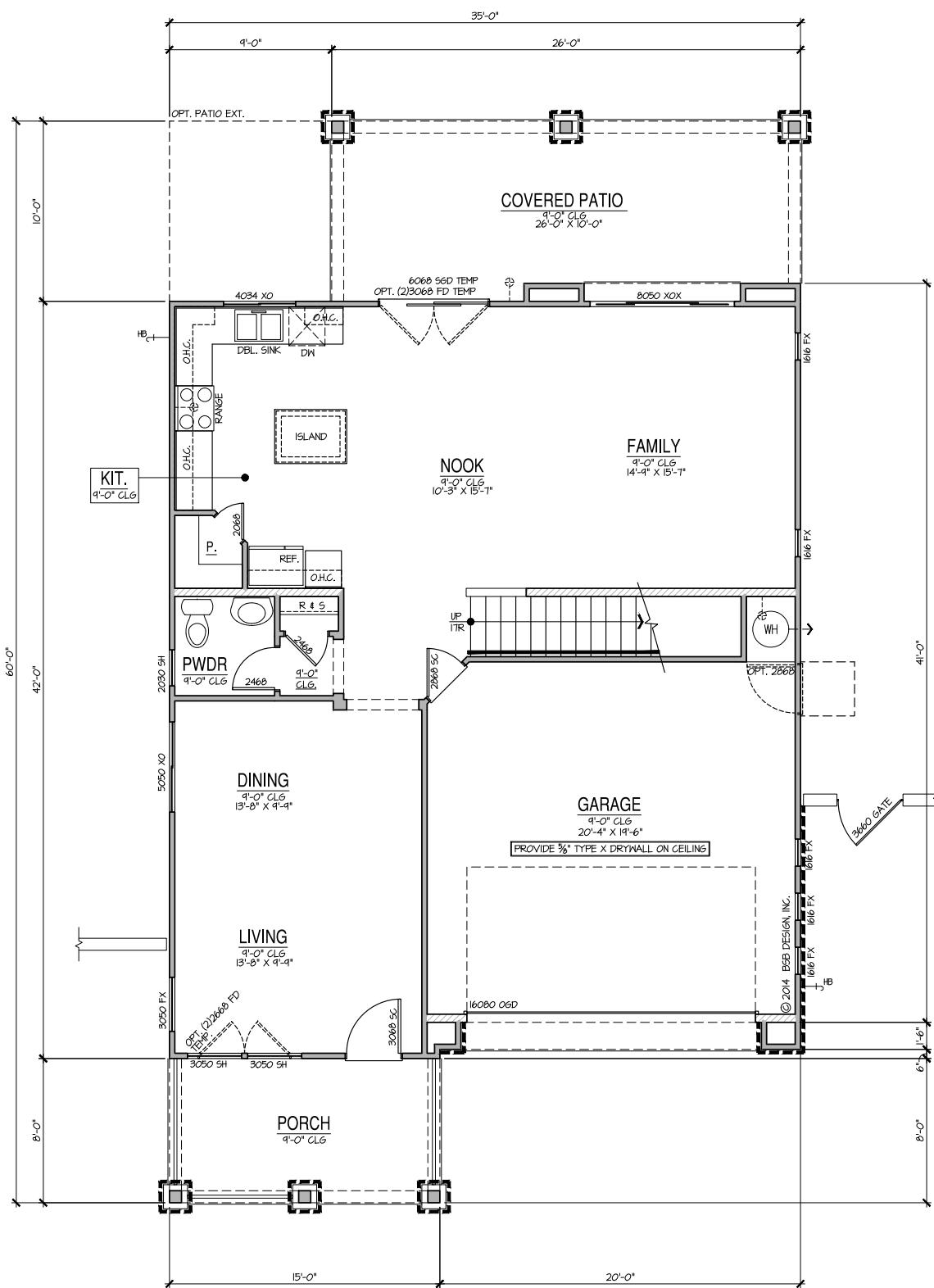


**Front Elevation**

scale: 3/16" = 1'-0"

## 3514 - Elevation 'E' - Prairie

Color Scheme 8



WALL LEGEND			
2 x 4 WALL			
2 x 6 WALL			
BRICKSTONE VENEER			
AREA SCHEDULE - PLAN 3514			
ALL ELEVATIONS:	LIVEABLE SQ. FT.	UNDER ROOF	
(A) MAIN FLOOR LIVING AREA	1006	1006	
(B) UPPER FLOOR LIVING AREA	1387	1387	
(C) 2-CAR GARAGE		422	
(D) COVERED PATIO		245	
(E) COVERED PORCH		120	
TOTAL	2343	3180	
OPTIONS:			
(F) OPT PATIO EXT. #I		+90	
(G) OPT BED 4		+0	
(H) OPT BED 5		+0	

Elevation B - Ranch  
Main Floor Plan

SCALE: 1/4"=1'-0"

## ELLiot GROVES - PARCEL 2C

### 3500 SERIES

### GILBERT, ARIZONA



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480 663 2100

JOB NO: 04P14003 PROJ MGR: BVM

DRAWN: MJT CHECKED:

MAIN FLOOR PLAN:

ELEVATION B - RANCH

PLAN 3514

A1.1

ISSUE DATE: 08.04.14  
REVISIONS  
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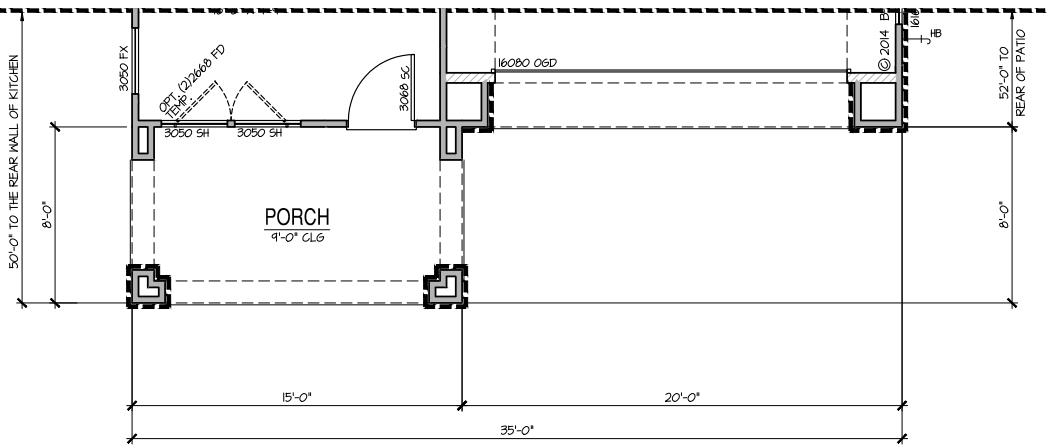


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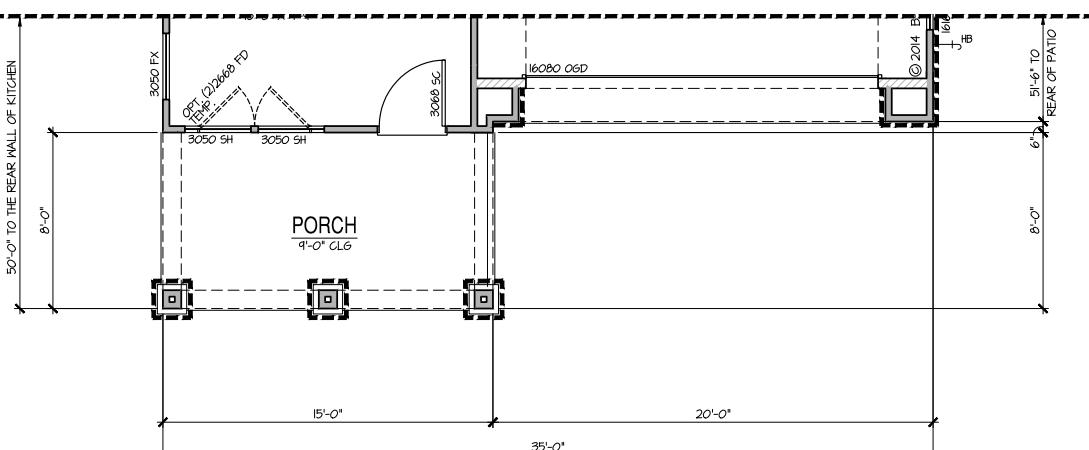
JOB NO: 04P4003 PROJ MGR: BVM  
 DRAWN: MJT CHECKED:  
 PARTIAL MAIN FLOOR PLANS  
 ELEVATION C - CRAFTSMAN  
 ELEVATION E - PRAIRIE

PLAN 3514  
**A1.2**



**Elevation E - Prairie**

SCALE: 1/4"=1'-0"



**Elevation C - Craftsman**

SCALE: 1/4"=1'-0"

WALL LEGEND	
2 x 4 WALL	
2 x 6 WALL	
BRICK/STONE VENEER	

**Partial Main Floor Plans**  
 PLAN 3514  
**A1.2**

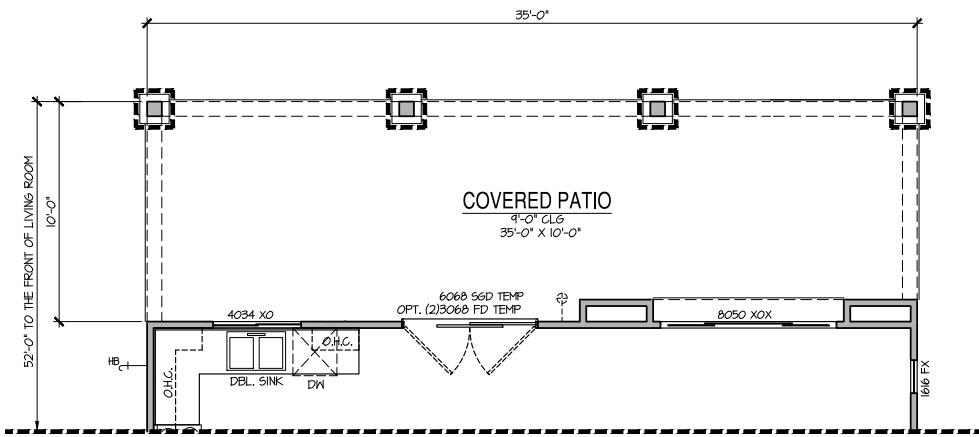
SCALE: 1/4"=1'-0"

08.04.14

REVISIONS

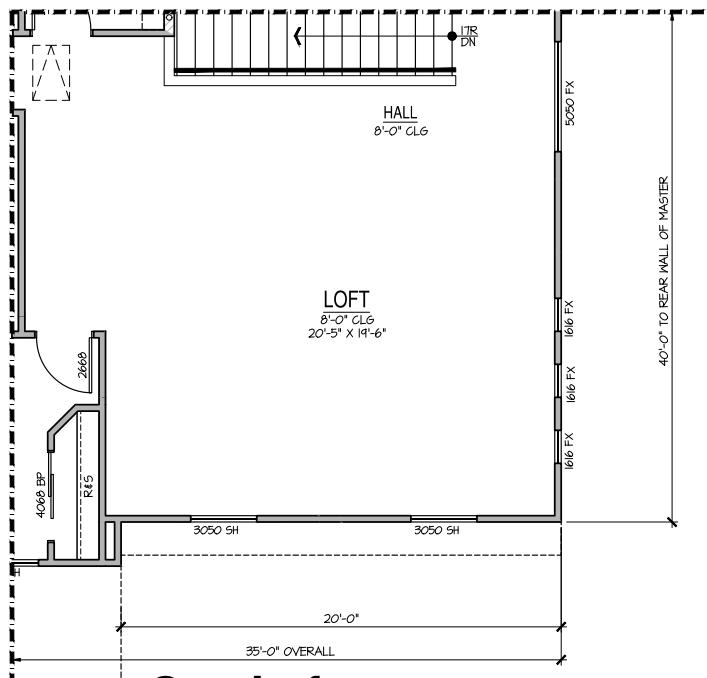
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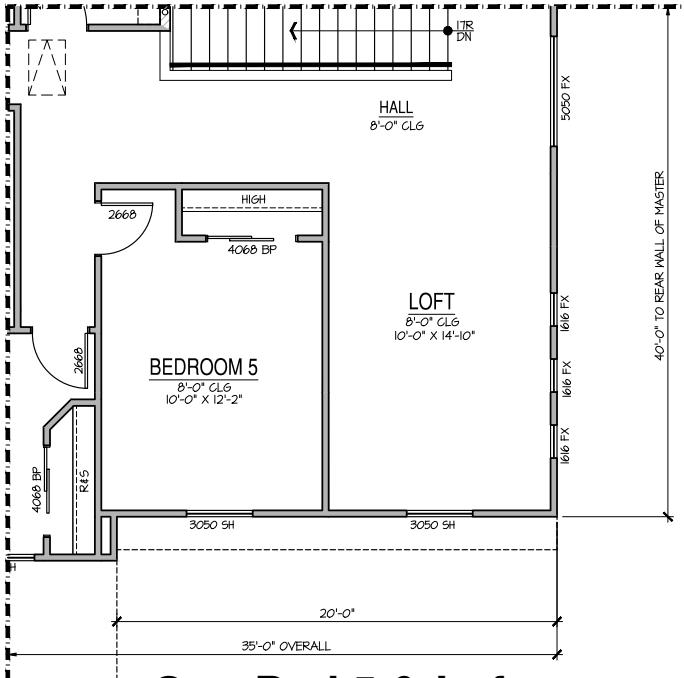
**Opt. Patio Ext. #1  
Partial Main Floor Plan**

SCALE: 1/4"=1'-0"



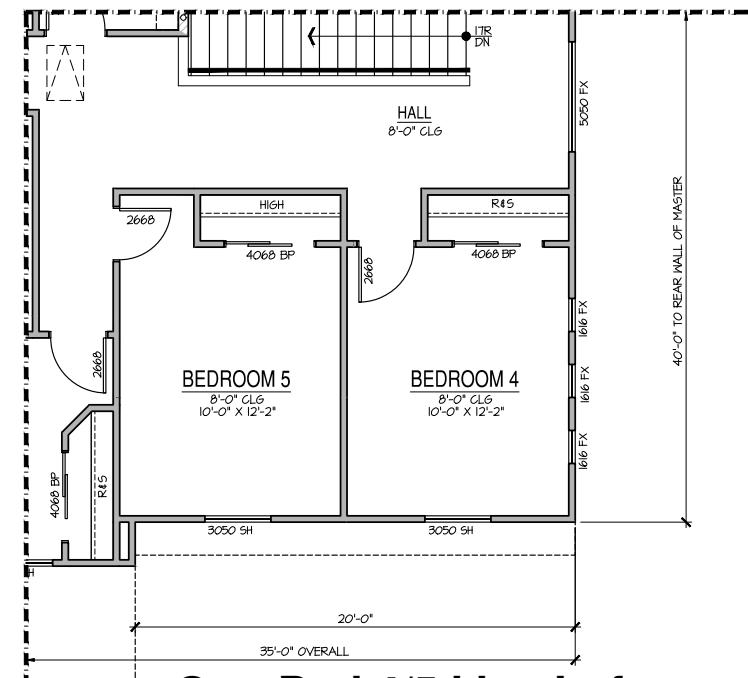
**Opt. Loft  
Partial Upper Floor Plan**

SCALE: 1/4"=1'-0"



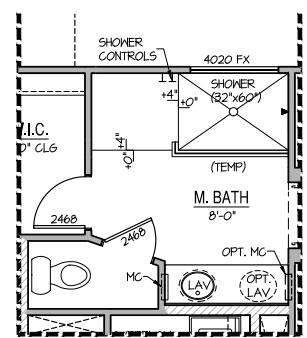
**Opt. Bed 5 & Loft  
Partial Upper Floor Plan**

SCALE: 1/4"=1'-0"



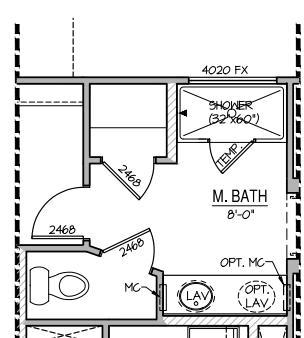
**Opt. Bed 4/5 i.l.o. Loft  
Partial Upper Floor Plan**

SCALE: 1/4"=1'-0"



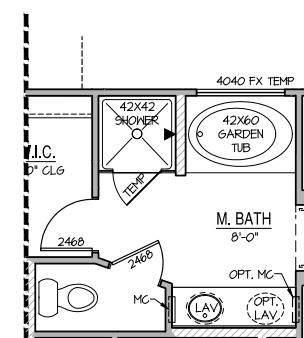
**Opt. Super Shower  
Partial Upper Floor Plan**

SCALE: 1/4"=1'-0"



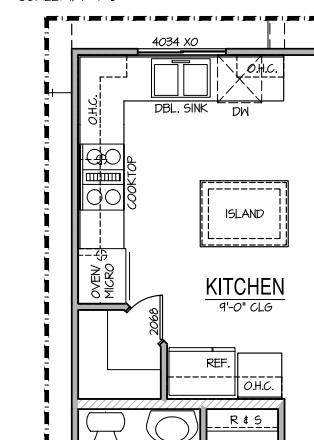
**Opt. Shower  
Partial Upper Floor Plan**

SCALE: 1/4"=1'-0"



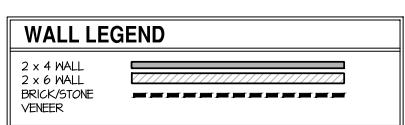
**Opt. Garden Tub  
Partial Upper Floor Plan**

SCALE: 1/4"=1'-0"



**Opt. Gourmet Kitchen  
Partial Main Floor Plan**

SCALE: 1/4"=1'-0"



**Partial Floor Plan Options**  
AS NOTED

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PARTIAL FLOOR PLAN OPTIONS

PLAN 3514

A1.3

ISSUE DATE: 06.04.14  
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 UPPER FLOOR PLAN  
 ELEVATION B - RANCH

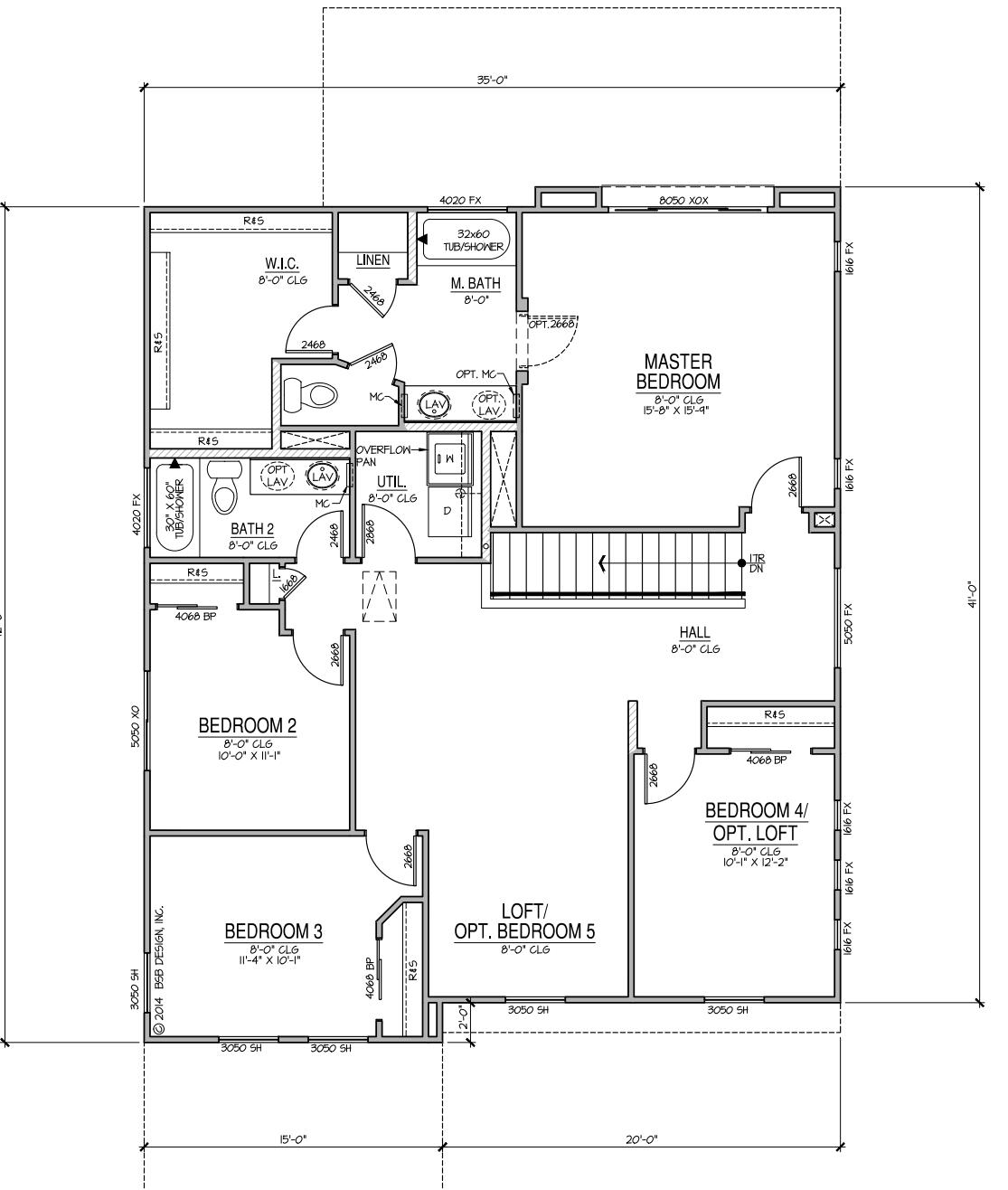
PLAN 3514

A2.1

WALL LEGEND		
2 x 4 WALL		
2 x 6 WALL		
BRICK/STONE VENEER		
AREA SCHEDULE - PLAN 3514		
ALL ELEVATIONS:	LIVEABLE SQ.FT.	UNDER ROOF
(A) MAIN FLOOR LIVING AREA	1006	1006
(B) UPPER FLOOR LIVING AREA	1387	1387
(C) 2-CAR GARAGE		422
(D) COVERED PATIO		245
(E) COVERED PORCH		120
TOTAL	2343	3180
OPTIONS:		
(F) OPT PATIO EXT. #1		+40
(G) OPT BED 4		+0
(H) OPT BED 5		+0

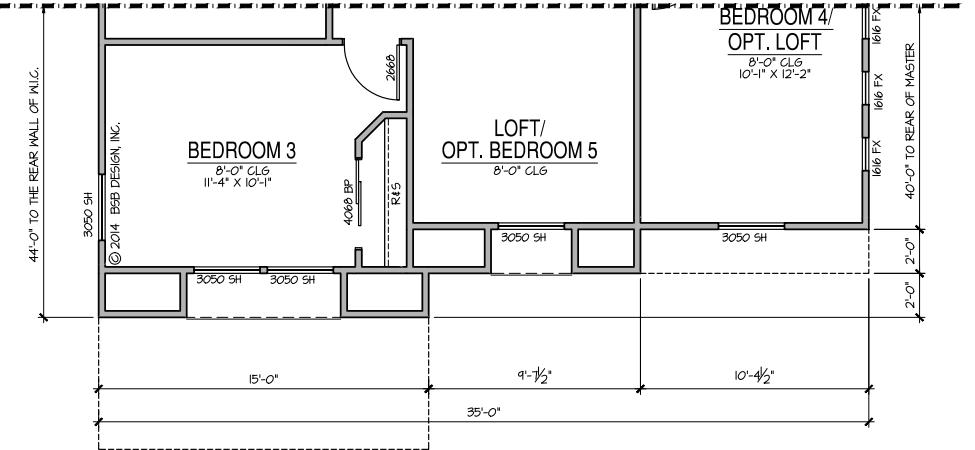
## Elevation B - Ranch Upper Floor Plan

SCALE: 1/4"=1'-0"



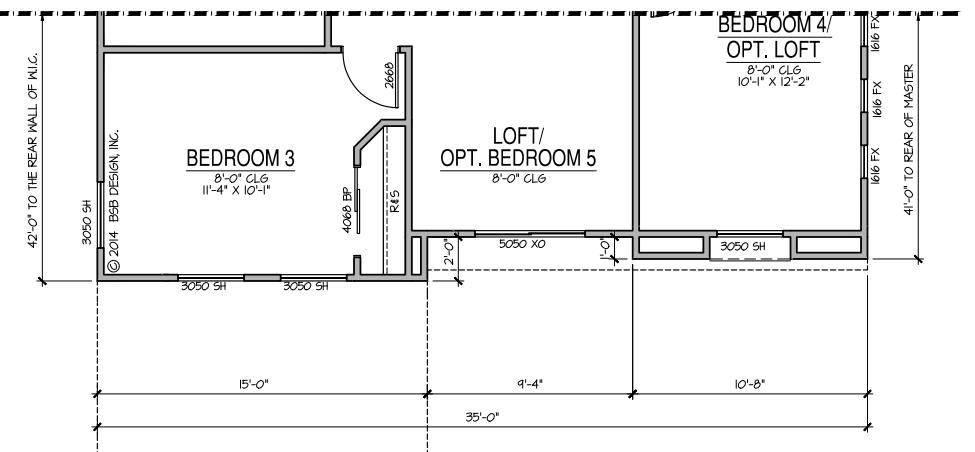
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## Elevation E - Prairie

SCALE: 1/4"=1'-0"



## Elevation C - Craftsman

SCALE: 1/4"=1'-0"

WALL LEGEND	
2 x 4 HALL	
2 x 6 HALL	
BRICK/STONE VENEER	



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JOB NO: 04P4003 PROJ MGR: BVM  
 DRAWN: MJT CHECKED:  
 PARTIAL UPPER FLOOR PLANS  
 ELEVATION C - CRAFTSMAN  
 ELEVATION E - PRAIRIE

PLAN 3514  
**A2.2**

Partial Upper Floor Plans  
 SCALE: 1/4"=1'-0"

GRADING AND DRAINAGE ACKNOWLEDGMENT –  
LOTS HAVE BEEN DESIGNED TO PROVIDE DRAINAGE  
FROM THE LOT TO A STREET OR DIRECTLY TO A  
WASH/OPEN SPACE AREA. THE OWNER SHALL BE  
RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE  
FINISH GRADE CAUSED BY LANDSCAPING AFTER  
CLOSE OF ESCROW.

INITIALS: \_\_\_\_\_ INITIALS: \_\_\_\_\_

DATE DRAWN: 5/19/14

REVISION DATE: 7/15/14

**GENERAL NOTE:**

NO PART OF THE STRUCTURE WILL  
ENCROACH INTO THE 5' FIRE  
SEPARATION DISTANCE PER 2012 IRC  
R302 U.N.O.

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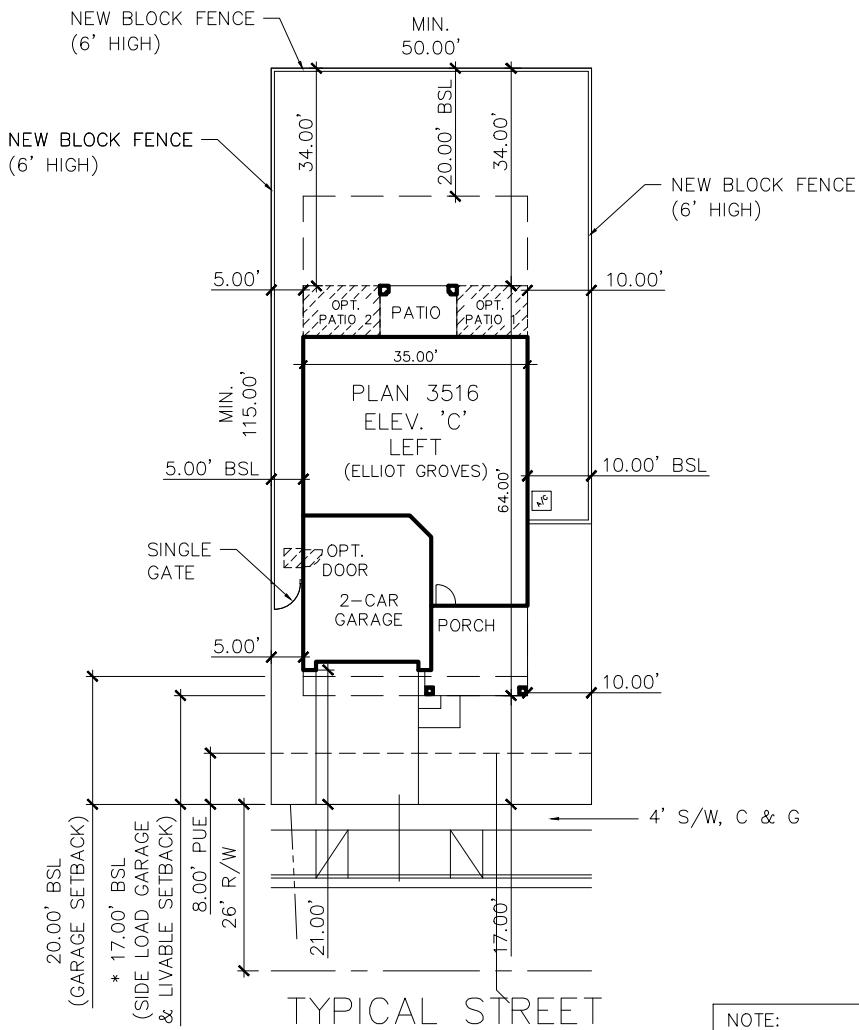
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0 30 60

SCALE: 1"=30'-0"

**TYPICAL PLOT PLAN**

*NOT CONSTRUCTION*



COORDINATE ALL EASEMENTS (U.B.E., P.U.E., N.V.A.E., ETC.) w/ APPROVED PLAT –  
TYPICAL

\*\*\*NOTE:  
OPTION(s) USED TO CALCULATE TOTAL  
MAXIMUM LIVABLE AND UNDER ROOF SQ. FT.

NOTE:  
FENCE LINES AND RETAINING WALLS MAY  
VARY BASED ON EXISTING FIELD  
CONDITIONS. ALL MEASUREMENTS,  
ORIENTATION, AND UTILITY LOCATIONS ARE  
APPROXIMATE. FIELD SUPERINTENDENT TO  
VERIFY PRIOR TO START OR CONSTRUCTION.

STANDARD ENTRY / PORCH: 214 SQ.FT.  
STANDARD PATIO: 96 SQ.FT.  
STANDARD GARAGE: 472 SQ.FT.  
STANDARD LIVABLE 1st Flr: 1198 SQ.FT.  
STANDARD LIVABLE 2nd Flr: 1464 SQ.FT.  
STAIRS: 96 SQ.FT.  
TOTAL LIVABLE : 2662 SQ.FT.  
TOTAL UNDER ROOF : 3628 SQ.FT.  
TOTAL 1st FLOOR FOOTPRINT: 2164 SQ.FT.  
LOT : 5750 SQ.FT.  
LOT COVERAGE : 38% (50% MAX.)

OPTIONS: (AFFECTING FOOTPRINT ONLY)

(L) LIVABLE SQUARE FOOTAGE  
(NL) NON-LIVABLE SQUARE FOOTAGE

OPT. PATIO 1 +0(L) +88(NL)

\*\*\*OPT. PATIO 2 0(L) +184(NL)

OPT. DOOR +0(L) +0(NL)

(L) (NL)

TOTALS: (L) (NL)

FINISH FLOOR ELEVATION:

FINISH PAD ELEVATION:

SF-D MIN. BUILDING SETBACKS:

FRONT LOAD GARAGE = 20'

\* SIDE ENTRY GARAGE = 10'

\* FRONT LIVABLE / PORCH = 10'

REAR = 15' (1-STORY) 15' (2-STORY)

SIDES = 5' &amp; 10' (15 TOTAL)

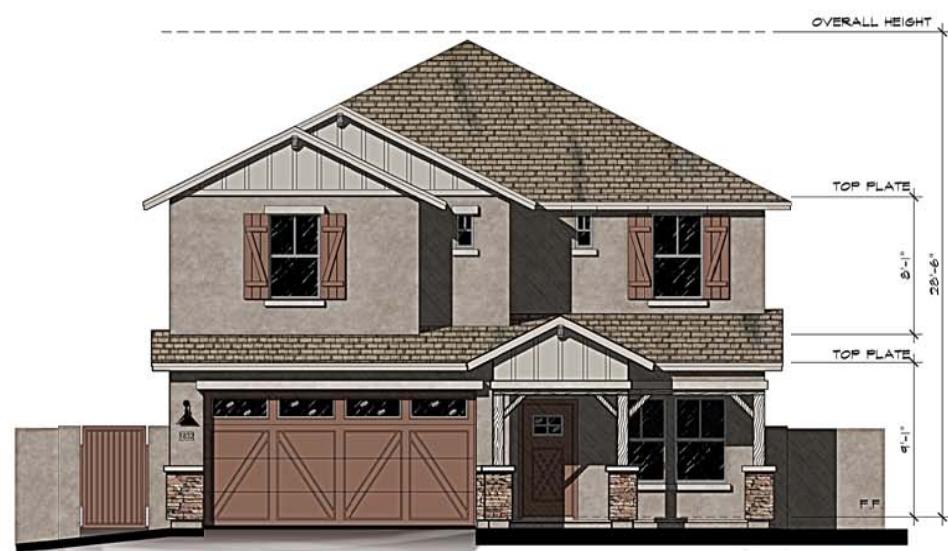
\* BUILDER IMPOSED SETBACK

\*\* 3' STAGGER REQ. FOR EVERY THIRD LOT

**LEGEND**

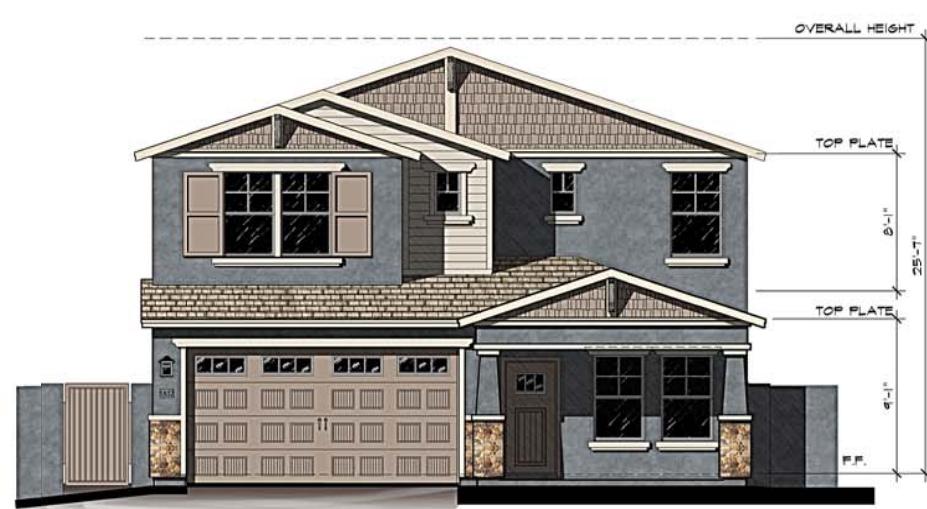
- ARCHITECTURAL OPTIONS
- SITE VISIBILITY TRIANGLE
- WALL MAINTENANCE EASEMENT
- NON-VEHICULAR ACCESS EASE.
- PUBLIC UTILITY EASEMENT
- BUILDING SETBACK LINE
- FIRE HYDRANT
- ELECTRIC SVC LOC
- JUNCTION BOX LOC
- STREET LIGHT LOC

SUBDIVISION **ELLIOT GROVES** PARCEL **2C** ADDRESS **TYPICAL ADDRESS**  
LOT **TYP.** MODEL **3516** ELEVATION **C**



RANCH ELEVATION

$\frac{3}{16}'' = 1'-0''$



CRAFTSMAN ELEVATION

$\frac{3}{16}'' = 1'-0''$



PRairie ELEVATION

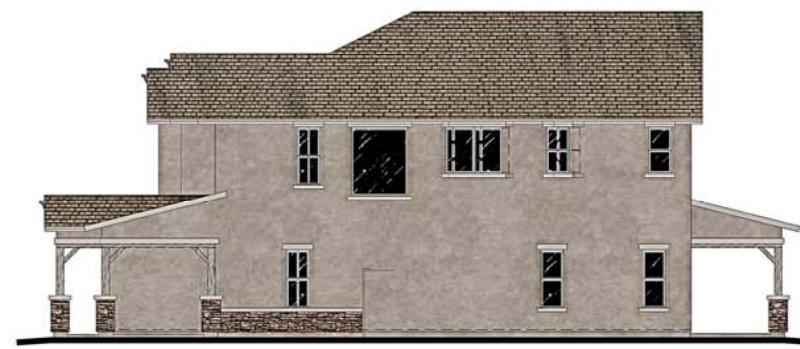
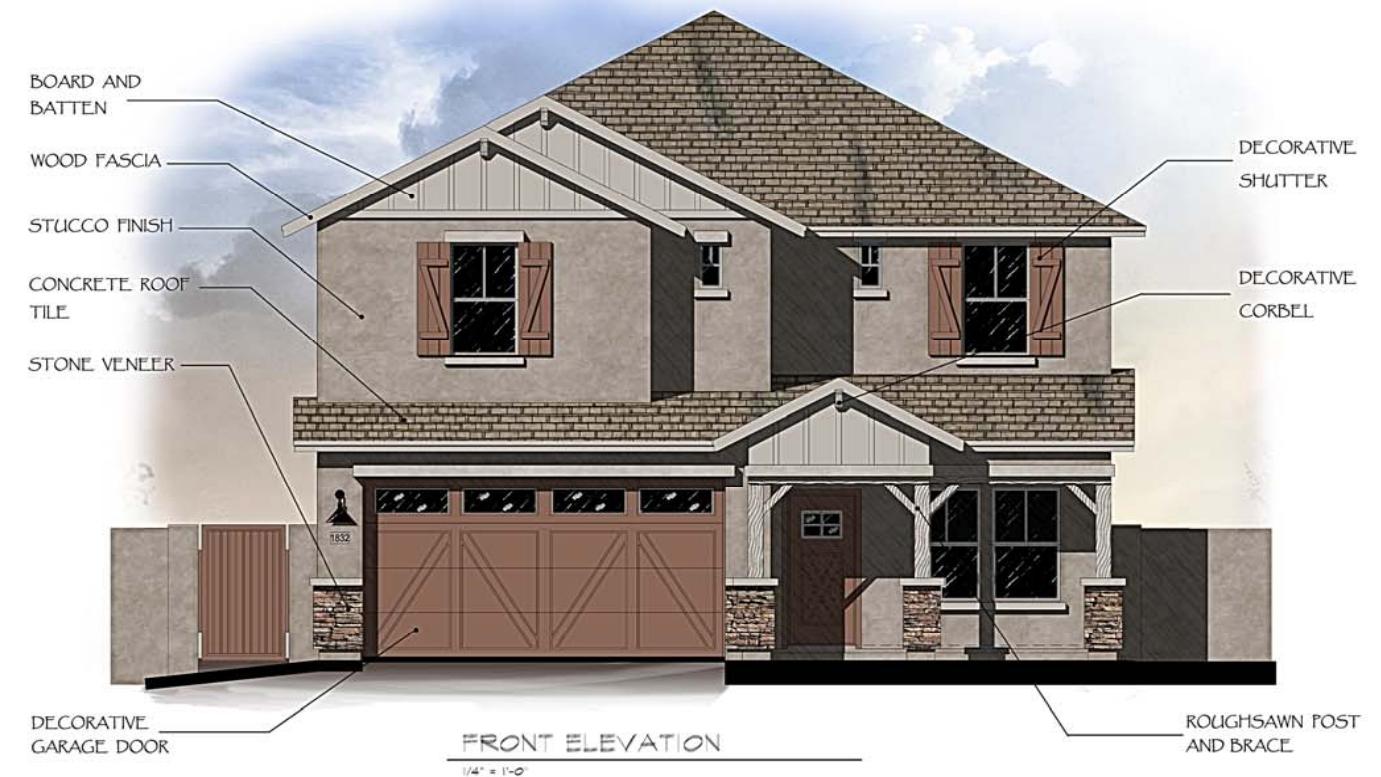
$\frac{3}{16}'' = 1'-0''$

## TAYLOR MORRISON 3500 SERIES PLAN 3516 ELEVATIONS

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"WHERE QUALITY DESIGN LEADS TO LOWER COST"



RIGHT ELEVATION

1/8" = 1'-0"



REAR ELEVATION

1/8" = 1'-0"



LEFT ELEVATION

1/8" = 1'-0"

DATE: 7/9/2014



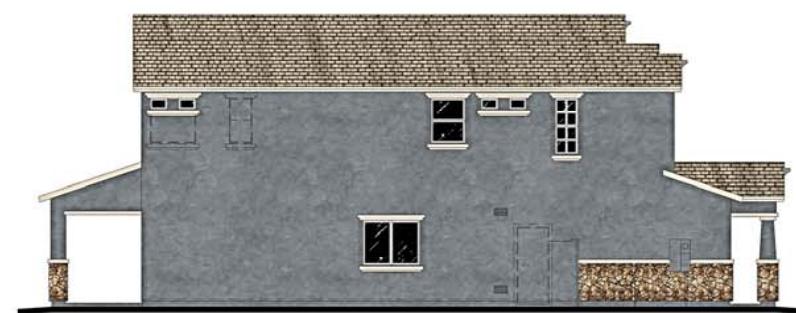
RIGHT ELEVATION

1/8" = 1'-0"



REAR ELEVATION

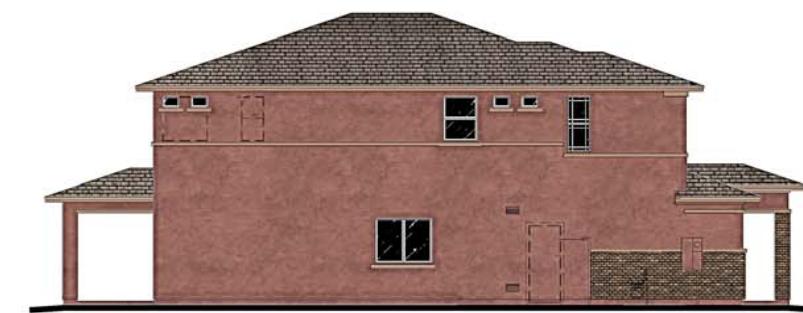
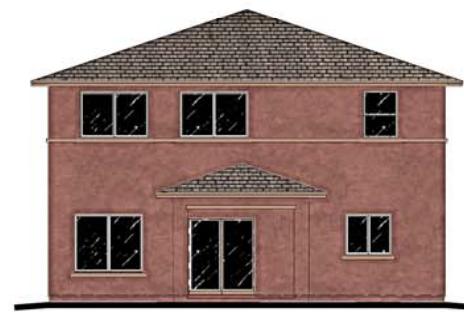
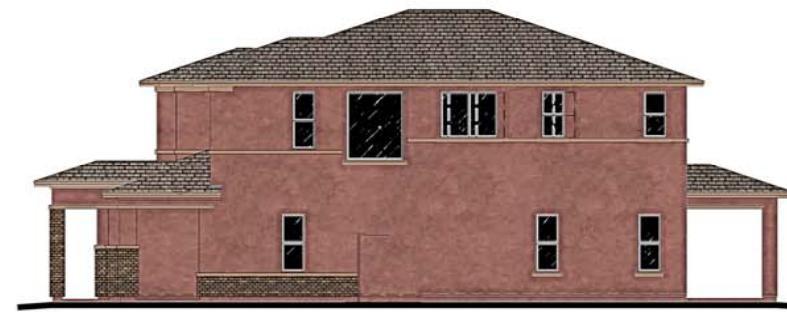
1/8" = 1'-0"



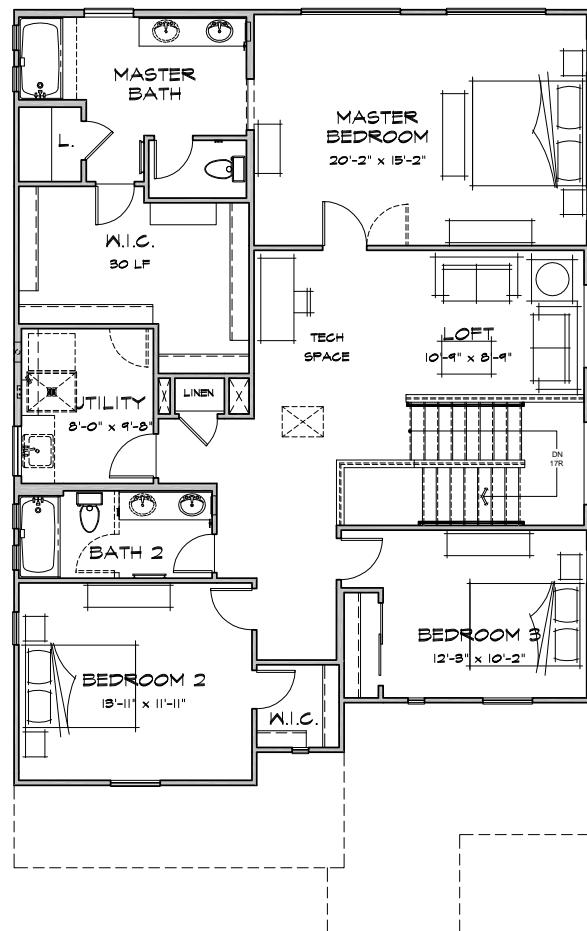
LEFT ELEVATION

1/8" = 1'-0"

DATE: 7/9/2014

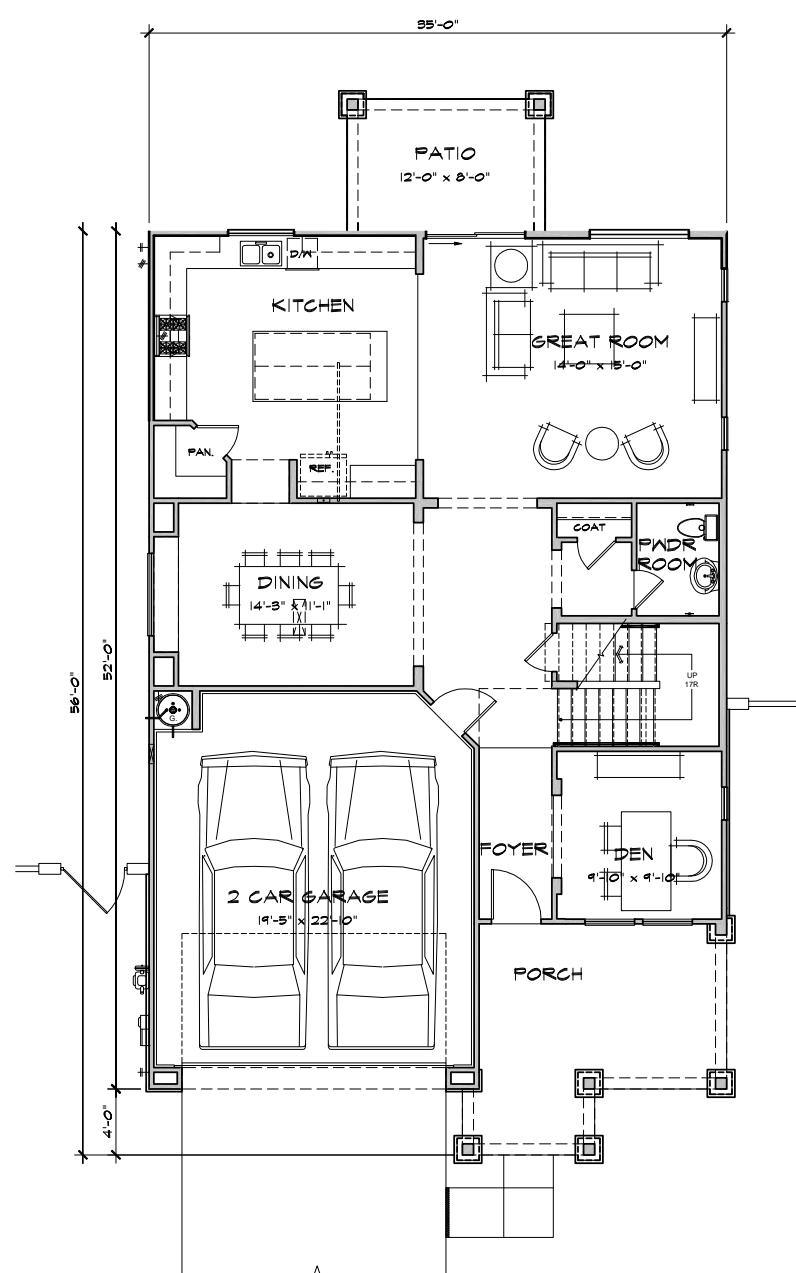


DATE: 1/9/2014



RANCH SECOND FLOOR ELEVATION

3/16" = 1'-0"



RANCH FIRST FLOOR ELEVATION

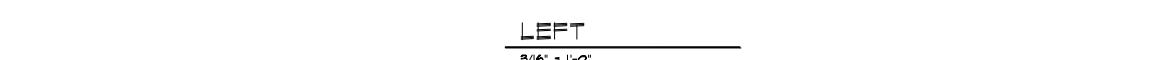
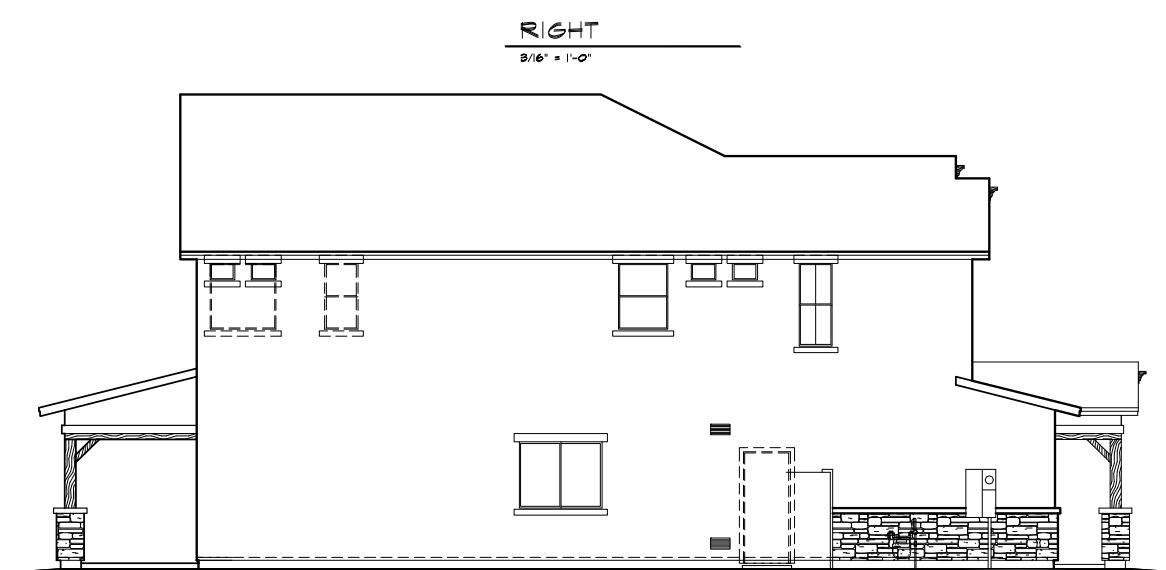
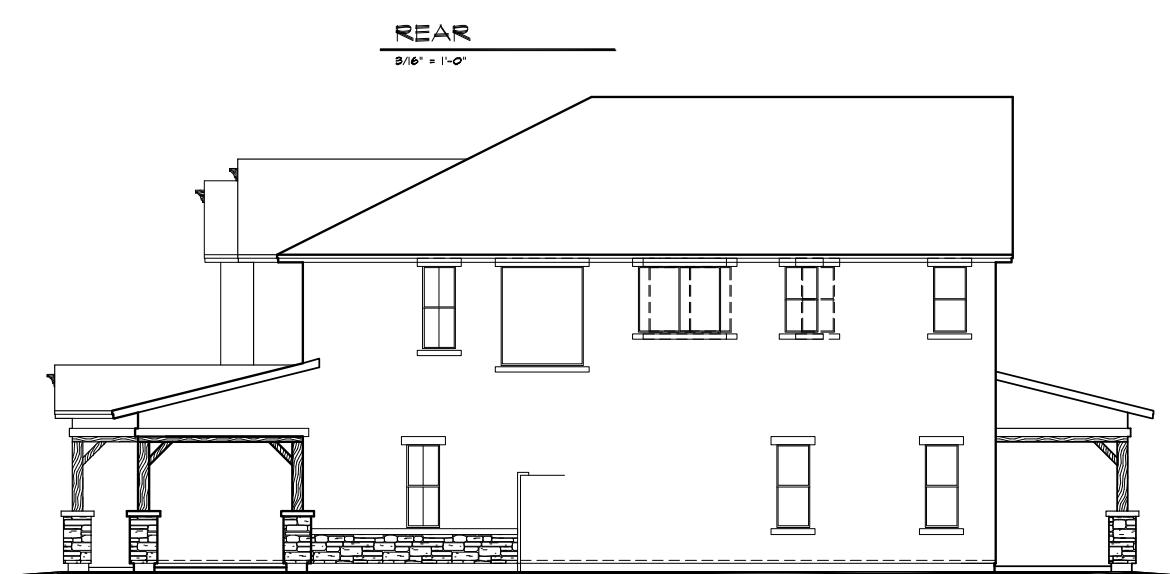
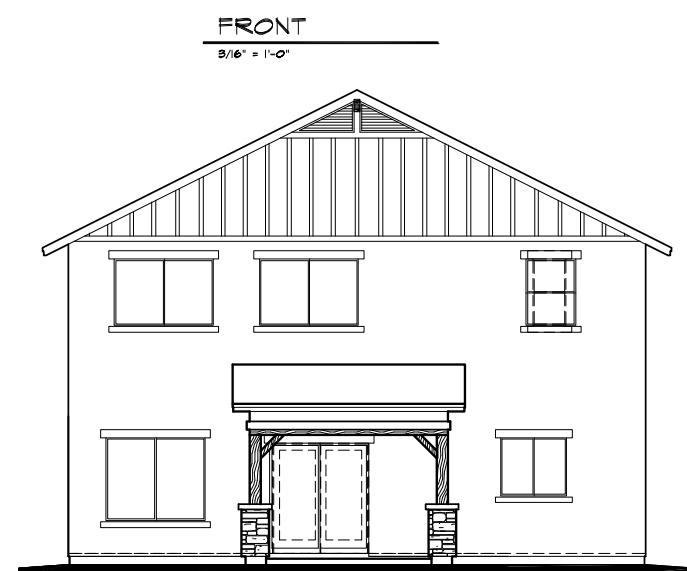
3/16" = 1'-0"

DATE: 7/9/2014

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PLAN 3516 FLOOR PLAN

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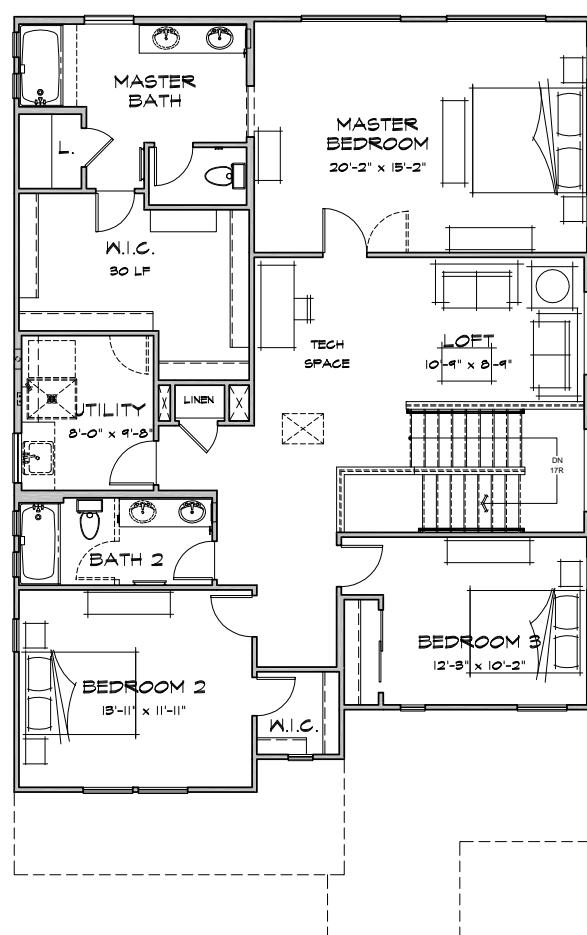


DATE: 7/9/2014

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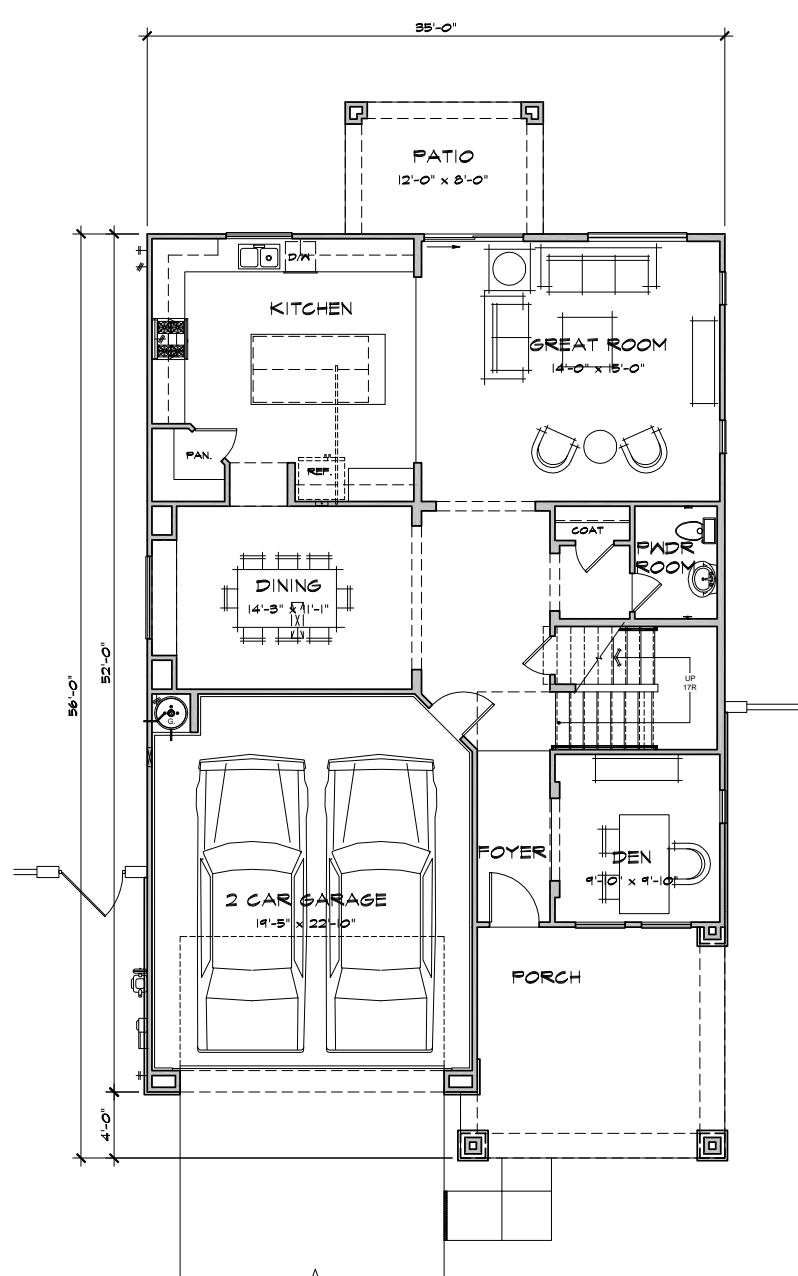
TAYLOR MORRISON 3500 SERIES  
PLAN 3516 ELEVATIONS

FELTEN GROUP  
ENGINEERS • ARCHITECTS • DESIGNERS  
"WHERE QUALITY DESIGN LEADS TO LOWER COST"



CRAFTSMAN SECOND FLOOR ELEVATION

3/16" = 1'-0"



CRAFTSMAN FIRST FLOOR ELEVATION

3/16" = 1'-0"

DATE: 7/9/2014

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PLAN 3516 FLOOR PLAN

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"WHERE QUALITY DESIGN LEADS TO LOWER COST"

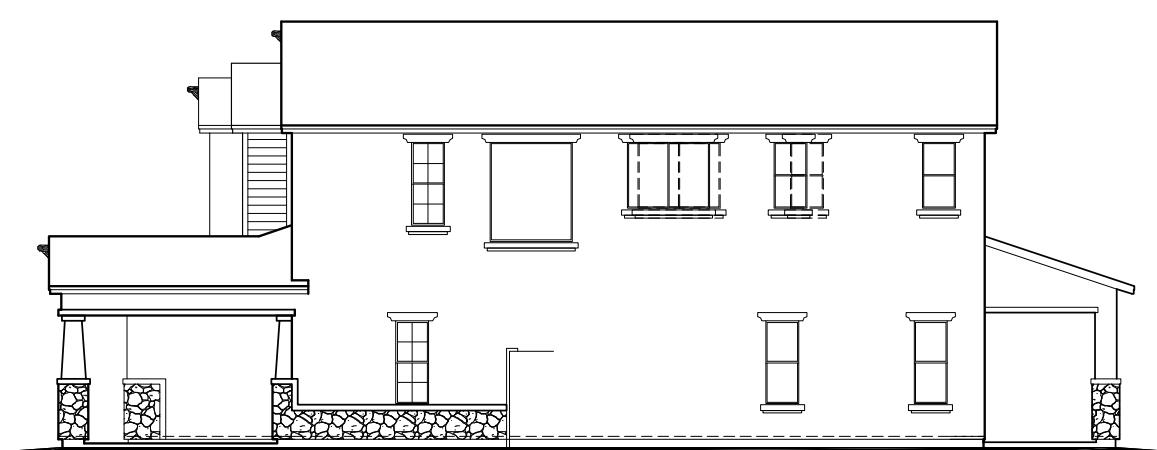


FRONT



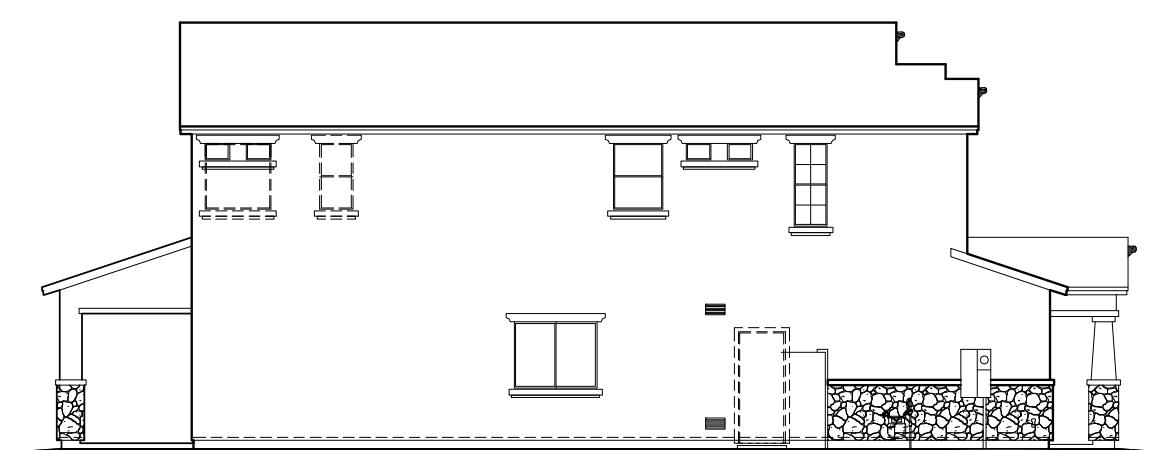
REAR

8'-0" = 1'-0"



RIGHT

8'-0" = 1'-0"



LEFT

8'-0" = 1'-0"



DATE: 7/9/2014

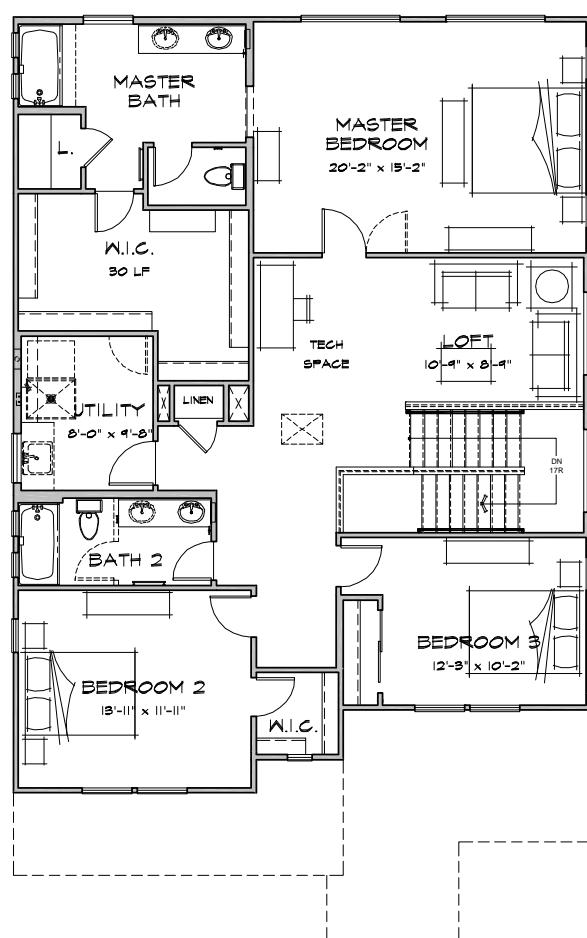
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TAYLOR MORRISON 3500 SERIES  
PLAN 3516 ELEVATIONS

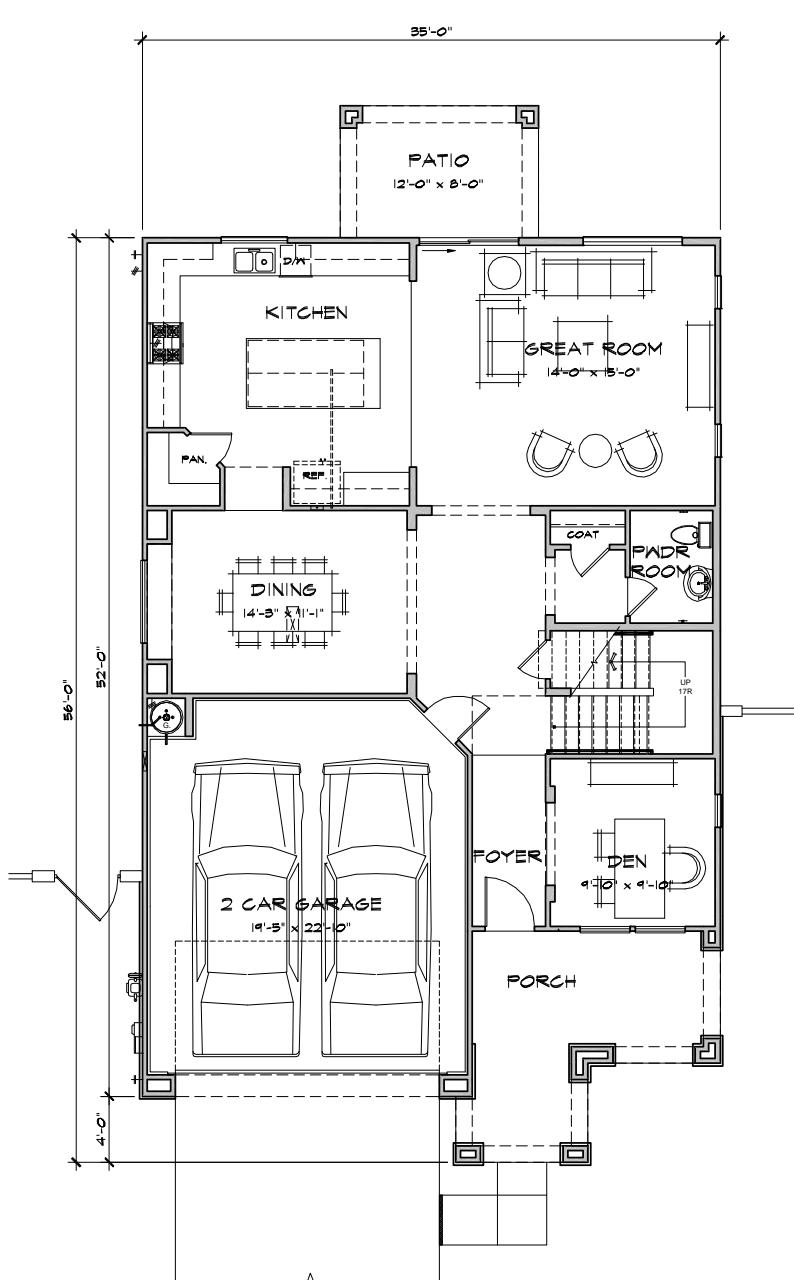
FELTEN GROUP

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PRAIRIE SECOND FLOOR ELEVATION



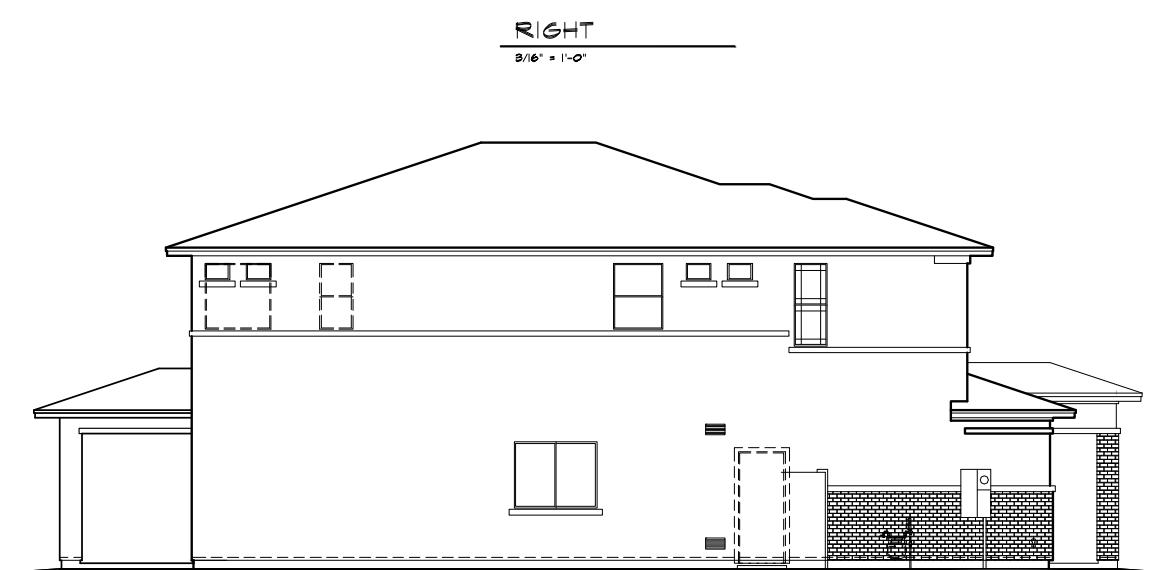
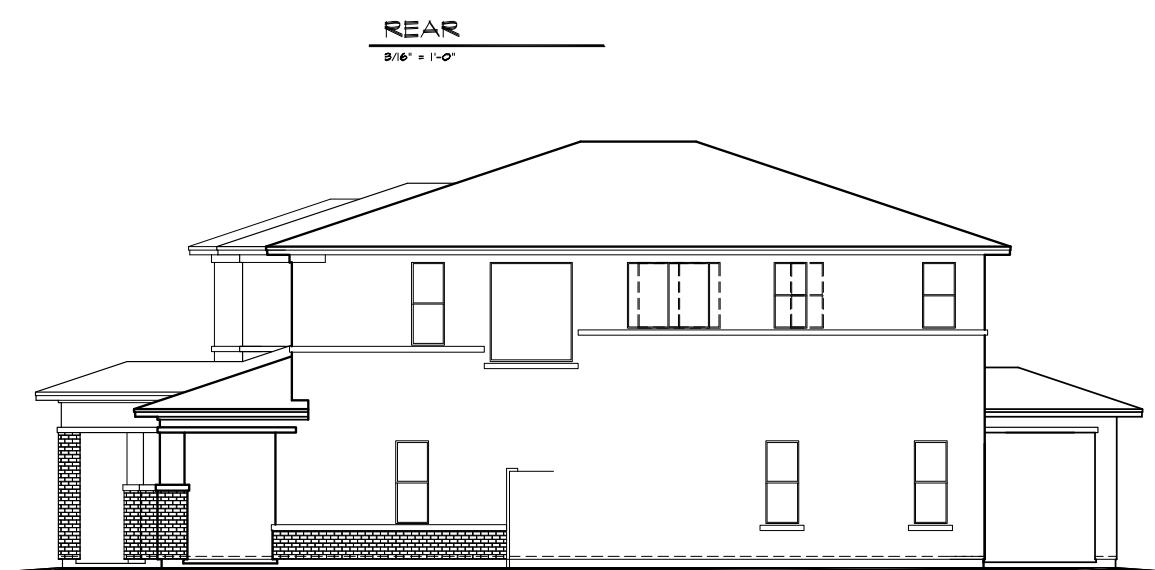
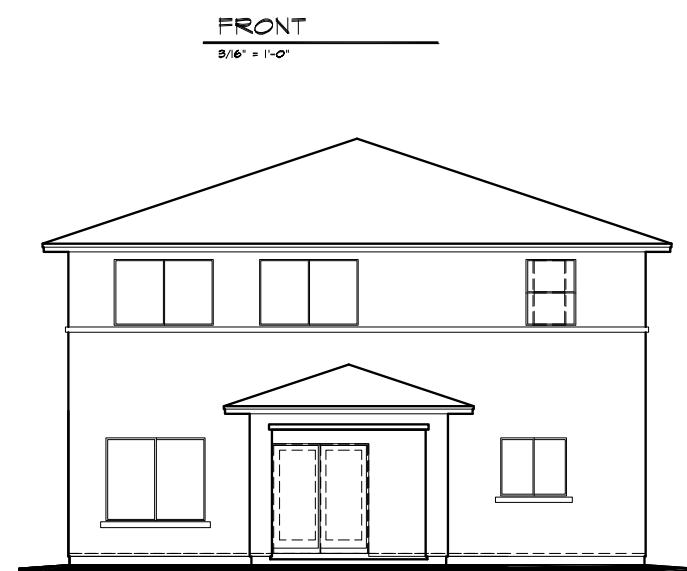
PRAIRIE FIRST FLOOR ELEVATION

DATE: 7/9/2014

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PLAN 3516 FLOOR PLAN

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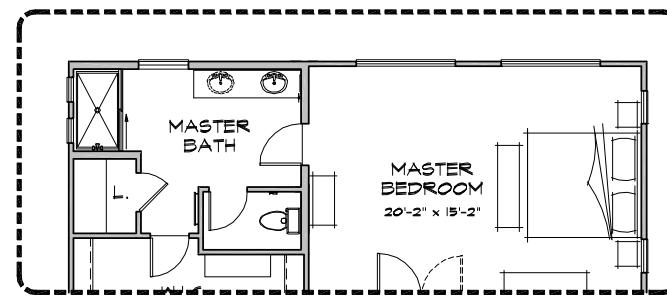


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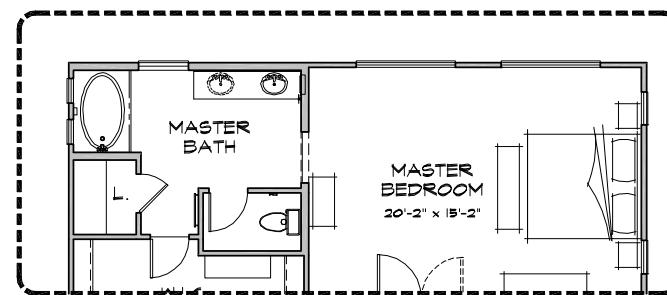
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PLAN 3516 ELEVATIONS

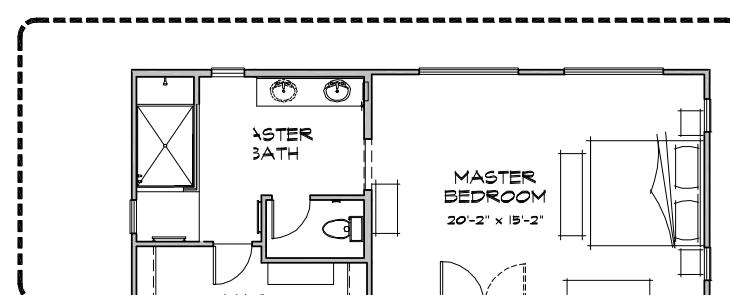
FELTEN GROUP  
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"WHERE QUALITY DESIGN LEADS TO LOWER COST"



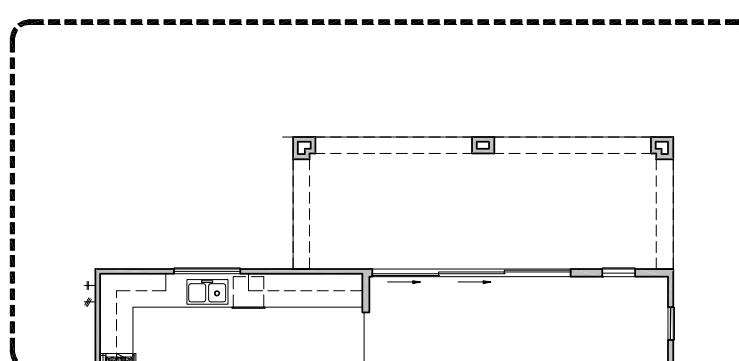
OPT. SHOWER AT MASTER BATH



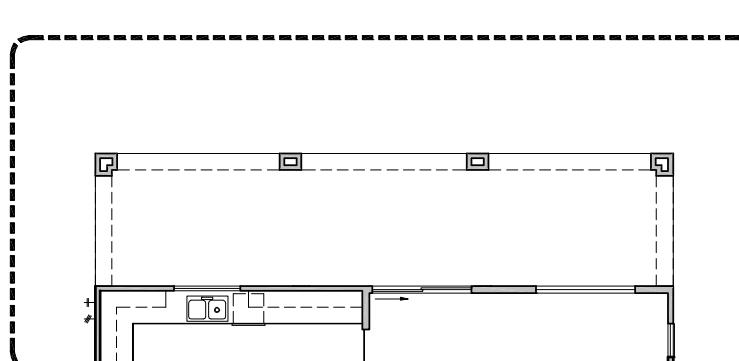
OPT. OVAL TUB/SHOWER AT MASTER BATH



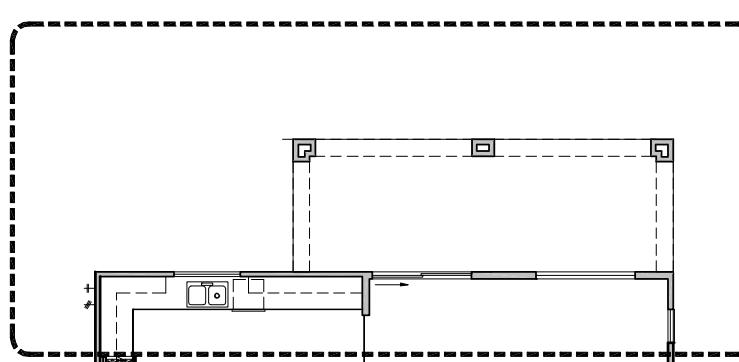
OPT. W.I. SHOWER AT MASTER BATH



OPT. 12080 MULTI-PANEL SLIDING GLASS DOOR  
(OPT. ONLY AVAILABLE WITH  
OPT. COVERED PATIO 1 OR 2)



OPT. COVERED PATIO 2



OPT. COVERED PATIO 1

FLOOR PLAN OPTIONS  
(ELEV. 'B' AND 'C' SIM.)

DATE: 7/9/2014

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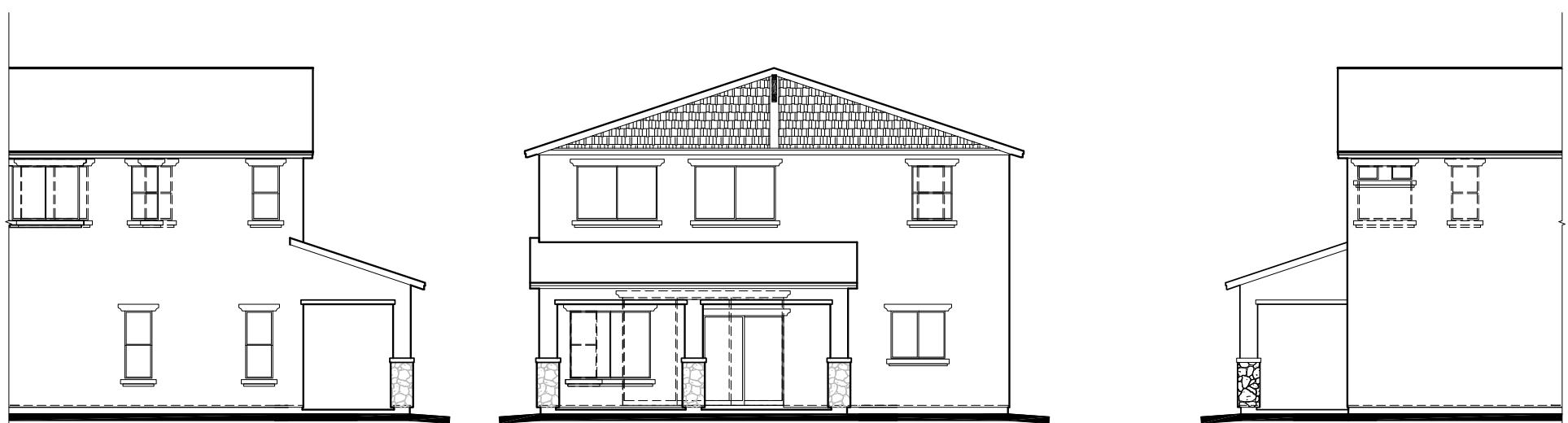
TAYLOR MORRISON 3500 SERIES  
PLAN 3516 FLOOR PLAN

FELTEN GROUP  
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*"WHERE QUALITY DESIGN LEADS TO LOWER COST"*



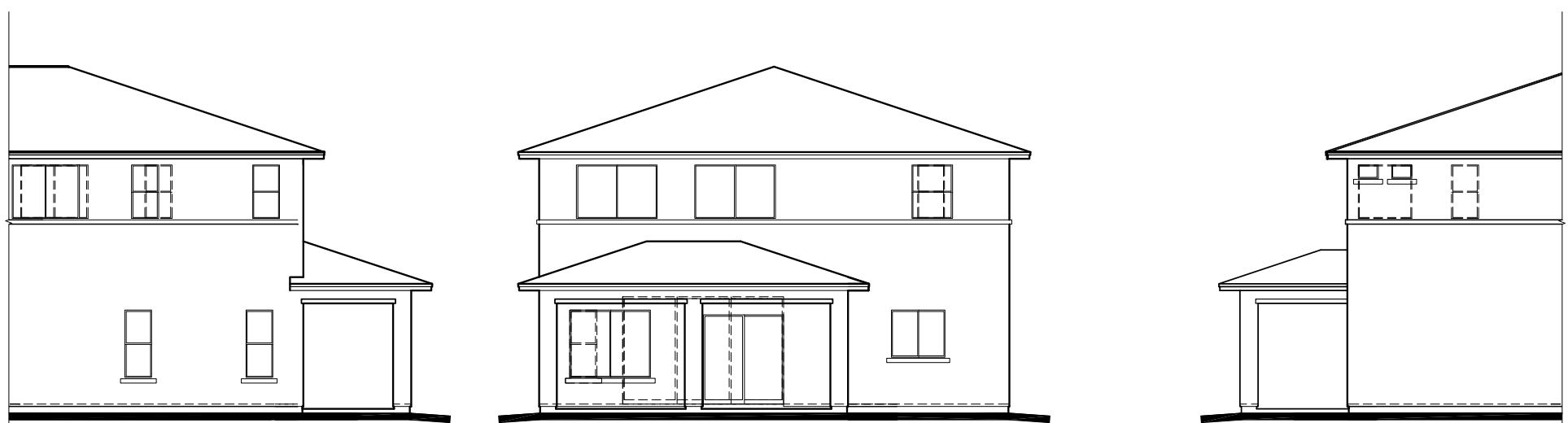
RANCH ELEVATION

8/16" = 1'-0"



CRAFTSMAN ELEVATION

8/16" = 1'-0"



PRAIRIE ELEVATION

8/16" = 1'-0"

DATE: 7/9/2014

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TAYLOR MORRISON 3500 SERIES  
PLAN 3516 OPTIONAL ELEVATIONS  
PATIO I

FELTEN GROUP

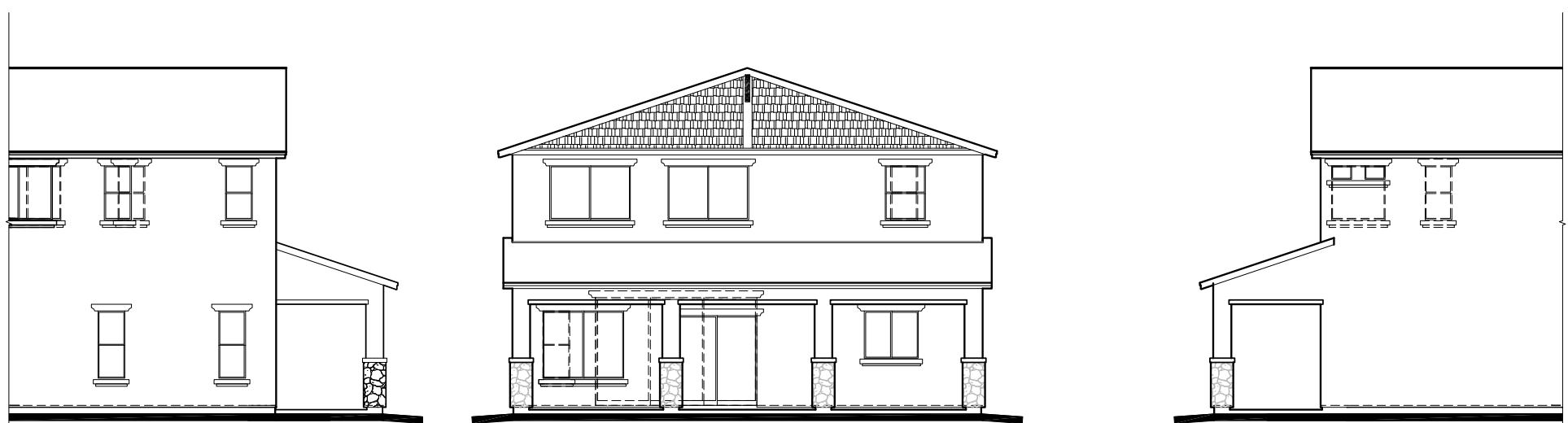
ENGINEERS • ARCHITECTS • DESIGNERS

"WHERE QUALITY DESIGN LEADS TO LOWER COST"



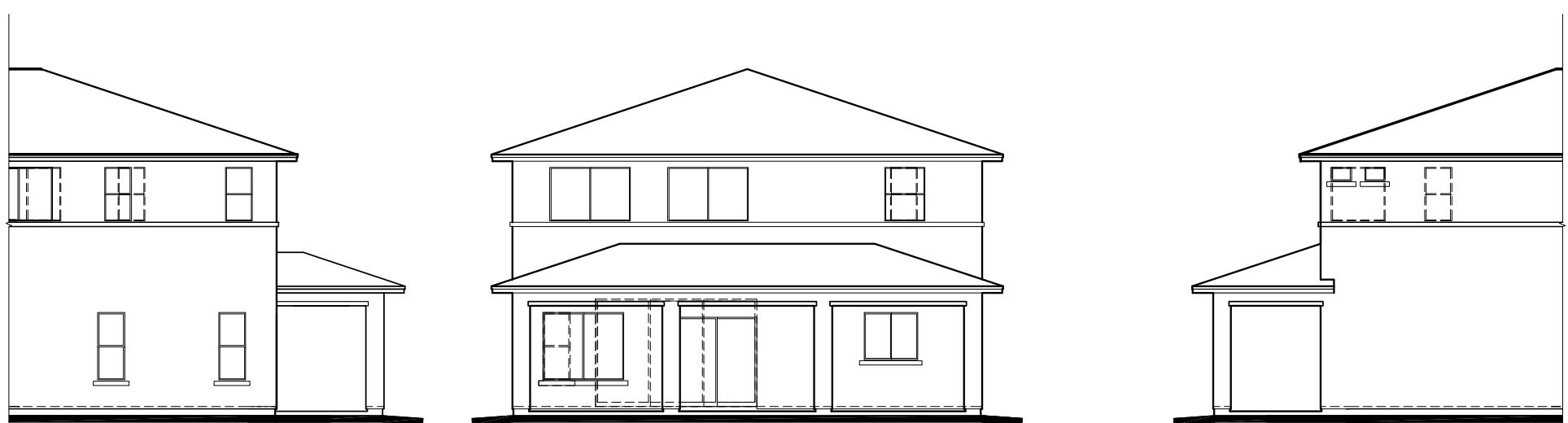
RANCH ELEVATION

3/16" = 1'-0"



CRAFTSMAN ELEVATION

3/16" = 1'-0"



PRAIRIE ELEVATION

3/16" = 1'-0"

DATE: 7/9/2014

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TAYLOR MORRISON 3500 SERIES  
PLAN 3516 OPTIONAL ELEVATIONS  
PATIO 2

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GRADING AND DRAINAGE ACKNOWLEDGMENT –  
LOTS HAVE BEEN DESIGNED TO PROVIDE DRAINAGE  
FROM THE LOT TO A STREET OR DIRECTLY TO A  
WASH/OPEN SPACE AREA. THE OWNER SHALL BE  
RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE  
FINISH GRADE CAUSED BY LANDSCAPING AFTER  
CLOSE OF ESCROW.

INITIALS: \_\_\_\_\_ INITIALS: \_\_\_\_\_

DATE DRAWN: 5/19/14

REVISION DATE: 7/15/14

GENERAL NOTE:

NO PART OF THE STRUCTURE WILL  
ENCROACH INTO THE 5' FIRE  
SEPARATION DISTANCE PER 2012 IRC  
R302 U.N.O.

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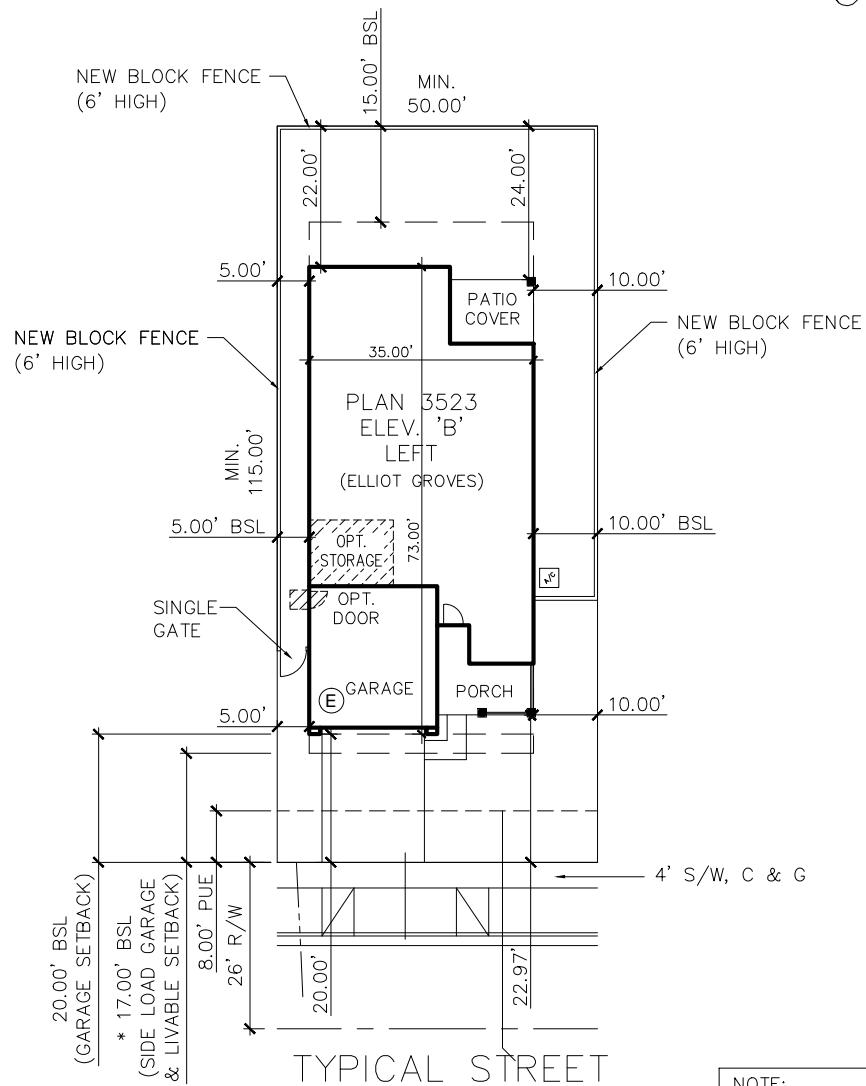
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0 30 60

SCALE: 1"=30'-0"

**TYPICAL PLOT PLAN**



COORDINATE ALL EASEMENTS (U.B.E., P.U.E.,  
N.V.A.E., ETC.) w/ APPROVED PLAT –  
TYPICAL

STANDARD ENTRY / PORCH:	150 SQ.FT.	OPTIONS: (AFFECTING FOOTPRINT ONLY)
STANDARD PATIO:	130 SQ.FT.	(L) LIVABLE SQUARE FOOTAGE
STANDARD GARAGE:	435 SQ.FT.	(NL) NON-LIVABLE SQUARE FOOTAGE
STANDARD LIVABLE 1st Flr:	1749 SQ.FT.	OPT. STORAGE -136 (L) +136(NL)
STANDARD LIVABLE 2nd Flr:	0 SQ.FT.	OPT. DOOR +0 (L) +0(NL)
ARCH. PROJECTIONS:	0 SQ.FT.	(L) (NL)
TOTAL LIVABLE :	1749 SQ.FT.	TOTALS: (L) (NL)
TOTAL UNDER ROOF :	2464 SQ.FT.	FINISH FLOOR ELEVATION:
TOTAL 1st FLOOR FOOTPRINT:	2464 SQ.FT.	LINEAL FEET OF FENCE: 221L.F.
LOT :	5750 SQ.FT.	FINISH PAD ELEVATION:
LOT COVERAGE :	43% (60% MAX.)	CONCRETE DRIVE / WALK : 367 SQ.FT.

SF-D MIN. BUILDING SETBACKS:  
FRONT LOAD GARAGE = 20'  
\* SIDE ENTRY GARAGE = 10'  
\* FRONT LIVABLE / PORCH = 10'  
REAR = 15' (1-STORY) 15' (2-STORY)  
SIDES = 5' & 10' (15 TOTAL)  
\* BUILDER IMPOSED SETBACK  
\*\* 3' STAGGER REQ. FOR EVERY THIRD LOT

NOTE:  
FENCE LINES AND RETAINING WALLS MAY  
VARY BASED ON EXISTING FIELD  
CONDITIONS. ALL MEASUREMENTS,  
ORIENTATION, AND UTILITY LOCATIONS ARE  
APPROXIMATE. FIELD SUPERINTENDENT TO  
VERIFY PRIOR TO START OR CONSTRUCTION.

**LEGEND**

	ARCHITECTURAL OPTIONS
	SITE VISIBILITY TRIANGLE
	W.M.E. WALL MAINTENANCE EASEMENT
	N.V.A.E. NON-VEHICULAR ACCESS EASE.
	P.U.E. PUBLIC UTILITY EASEMENT
	B.S.L. BUILDING SETBACK LINE
	FIRE HYDRANT
	ELECTRIC SVC LOC
	JUNCTION BOX LOC
	STREET LIGHT LOC

SUBDIVISION	ELLIOOT GROVES	PARCEL	2C	ADDRESS	TYPICAL ADDRESS
LOT	TYP.	MODEL	3523	ELEVATION	B



**Rear Elevation**

scale: 3/16" = 1'-0"



**Right Side Elevation**

scale: 3/16" = 1'-0"



**Left Side Elevation**

scale: 3/16" = 1'-0"



**Front Elevation**

scale: 3/16" = 1'-0"

## **3523 - Elevation 'B' - Ranch**

Color Scheme 11



**Rear Elevation**

scale: 3/16" = 1'-0"



**Right Side Elevation**

scale: 3/16" = 1'-0"



**Left Side Elevation**

scale: 3/16" = 1'-0"



**Front Elevation**

scale: 3/16" = 1'-0"

## **3523 - Elevation 'C' - Craftsman**

Color Scheme 1



**Rear Elevation**

scale: 3/16" = 1'-0"



**Right Side Elevation**

scale: 3/16" = 1'-0"



**Left Side Elevation**

scale: 3/16" = 1'-0"

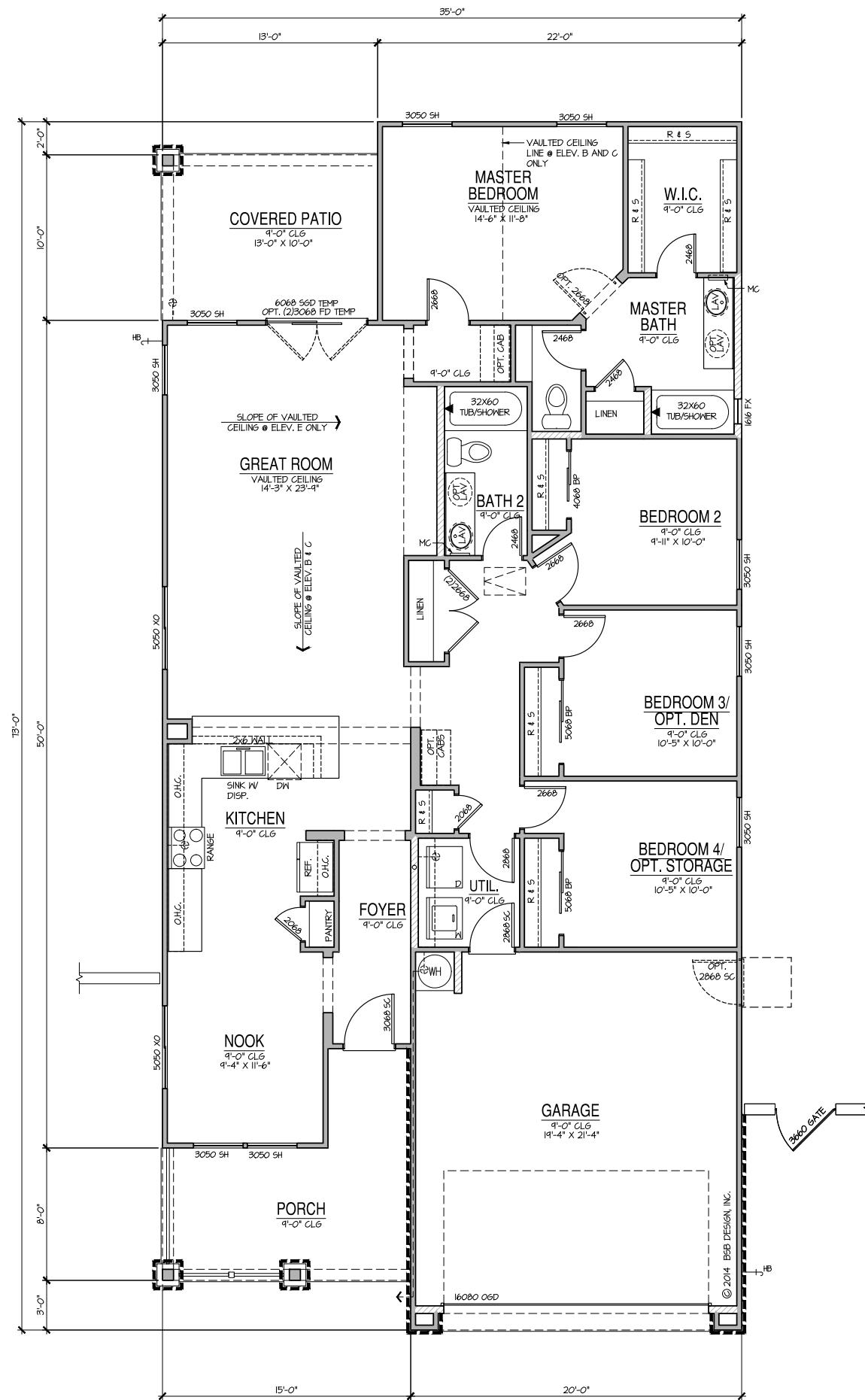


**Front Elevation**

scale: 3/16" = 1'-0"

## **3523 - Elevation 'E' - Prairie**

Color Scheme 9



**Elevation B - Ranch  
Main Floor Plan**

SCALE: 1/4"=1'-0"

**WALL LEGEND**

2 x 4 WALL	
2 x 6 WALL	
BRICK/STONE VENEER	

**AREA SCHEDULE - PLAN 3523**

ALL ELEVATIONS:	LIVEABLE SQ.FT.	UNDER ROOF
(A) MAIN FLOOR LIVING AREA	1749	1744
(B) 2-CAR GARAGE		435
(C) COVERED PATIO		150
(D) COVERED PORCH		150
<b>TOTAL</b>	<b>1749</b>	<b>2464</b>
<b>OPTIONS:</b>		
(E) OPT STORAGE	-136	
(F) OPT DEN I.L.O. BED 3	+0	

**ELLiot GROVES - PARCEL 2C  
3500 SERIES  
GILBERT, ARIZONA**



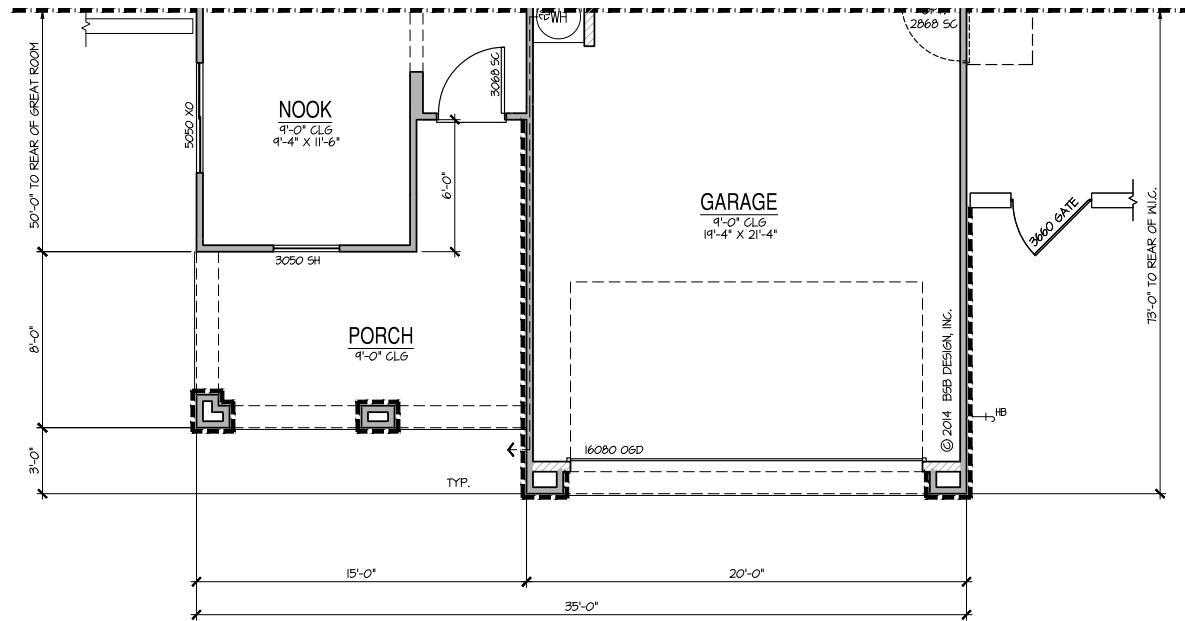
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480 663 2100

JOB NO: 04P14003 PROJ MGR: BVM  
DRAWN: MJT CHECKED:  
MAIN FLOOR PLAN:  
ELEVATION B - RANCH

PLAN 3523

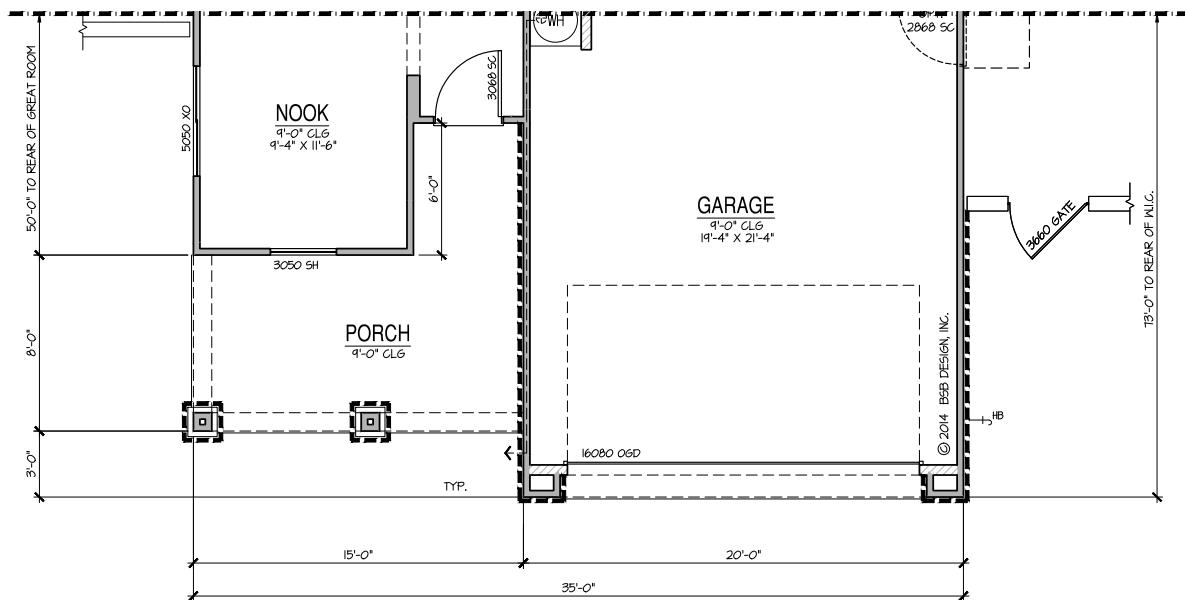
**A1.1**

ISSUE DATE: 06.04.14  
REVISIONS  
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**Elevation E - Prairie**

SCALE: 1/4"=1'-0"



**Elevation C - Craftsman**

SCALE: 1/4"=1'-0"

WALL LEGEND	
2 x 4 WALL	PROJ MGR: BVM
2 x 6 WALL	DRAWN: MJT
BRICK/STONE	CHECKED:
VEENEER	PARTIAL MAIN FLOOR PLANS

**Partial Main Floor Plans**  
AS NOTED

**ELLiot GROVES - PARCEL 2C**  
**3500 SERIES**  
**GILBERT, ARIZONA**



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480 663 2100

JOB NO: 04P14003 PROJ MGR: BVM  
DRAWN: MJT CHECKED:  
PARTIAL MAIN FLOOR PLANS  
ELEVATION C - CRAFTSMAN  
ELEVATION E - PRAIRIE

PLAN 3523  
**A1.2**

ISSUE DATE:	06.04.14
REVISIONS:	**SEE SHEET IS FOR REVISED**
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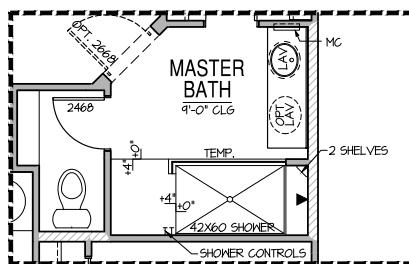
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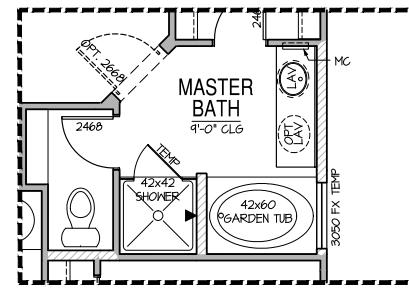
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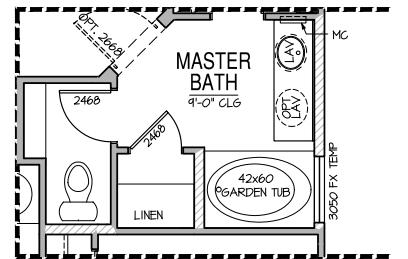
**Opt. Super Shower at Master Bath**

SCALE: 1/4"=1'-0"



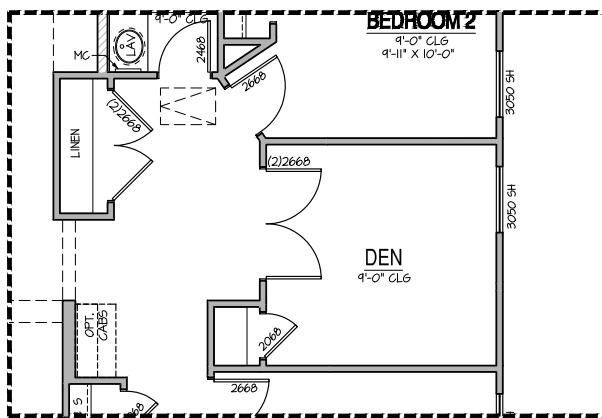
**Opt. Shower at Master Bath**

SCALE: 1/4"=1'-0"



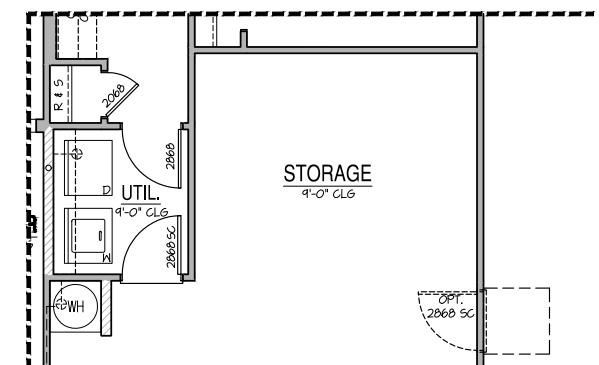
**Opt. Garden Tub at Master Bath**

SCALE: 1/4"=1'-0"



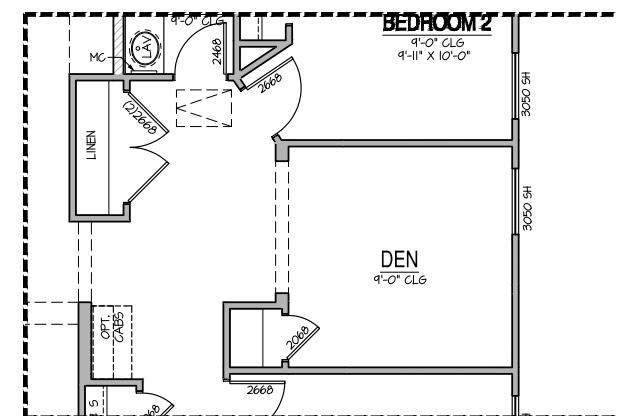
**Opt. Den w/Doors i.l.o. Bedroom 3**

SCALE: 1/4"=1'-0"



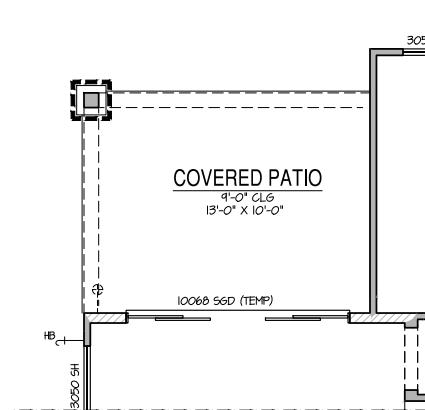
**Opt. Storage i.l.o. Bed 4**

SCALE: 1/4"=1'-0"



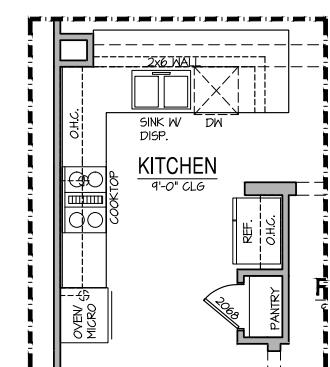
**Opt. Den i.l.o. Bedroom 3**

SCALE: 1/4"=1'-0"



**Opt. Multi-Slide Door**

SCALE: 1/4"=1'-0"



**Opt. Gourmet Kitchen**

SCALE: 1/4"=1'-0"

WALL LEGEND	
2 x 4 WALL	PROJ MGR: BVM
2 x 6 WALL	DRAWN: MJT
BRICK/STONE VENEER	CHECKED:
PARTIAL MAIN FLOOR PLAN OPTIONS	

**Partial Main Floor Plan Options**

AS NOTED

## ELLIOT GROVES - PARCEL 2C

### 3500 SERIES

GILBERT, ARIZONA



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JOB NO: 04P14003 PROJ MGR: BVM  
DRAWN: MJT CHECKED:  
PARTIAL MAIN FLOOR PLAN  
OPTIONS

PLAN 3523

A1.3

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0 30 60

TYPICAL PLOT PLAN

SCALE: 1"=30'-0"

**GRADING AND DRAINAGE ACKNOWLEDGMENT –**  
LOTS HAVE BEEN DESIGNED TO PROVIDE DRAINAGE FROM THE LOT TO A STREET OR DIRECTLY TO A WASH/OPEN SPACE AREA. THE OWNER SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE FINISH GRADE CAUSED BY LANDSCAPING AFTER CLOSE OF ESCROW.

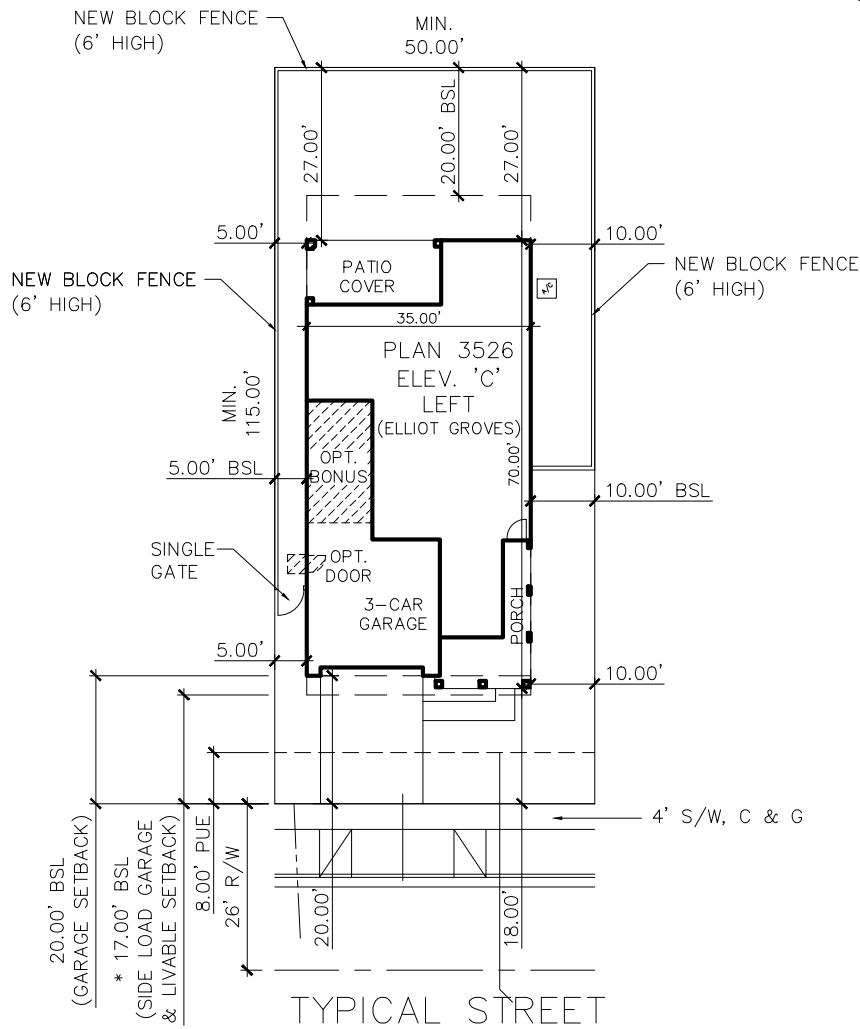
INITIALS: \_\_\_\_\_ INITIALS: \_\_\_\_\_

DATE DRAWN: 5/19/14

REVISION DATE: 7/15/14

**GENERAL NOTE:**

NO PART OF THE STRUCTURE WILL ENCROACH INTO THE 5' FIRE SEPARATION DISTANCE PER 2012IRC R302 U.N.O.



COORDINATE ALL EASEMENTS (U.B.E., P.U.E., N.V.A.E., ETC.) w/ APPROVED PLAT –  
TYPICAL

\*\*\*NOTE:  
OPTION(s) USED TO CALCULATE TOTAL  
MAXIMUM LIVABLE AND UNDER ROOF SQ. FT.

NOTE:  
FENCE LINES AND RETAINING WALLS MAY VARY BASED ON EXISTING FIELD CONDITIONS. ALL MEASUREMENTS, ORIENTATION, AND UTILITY LOCATIONS ARE APPROXIMATE. FIELD SUPERINTENDENT TO VERIFY PRIOR TO START OR CONSTRUCTION.

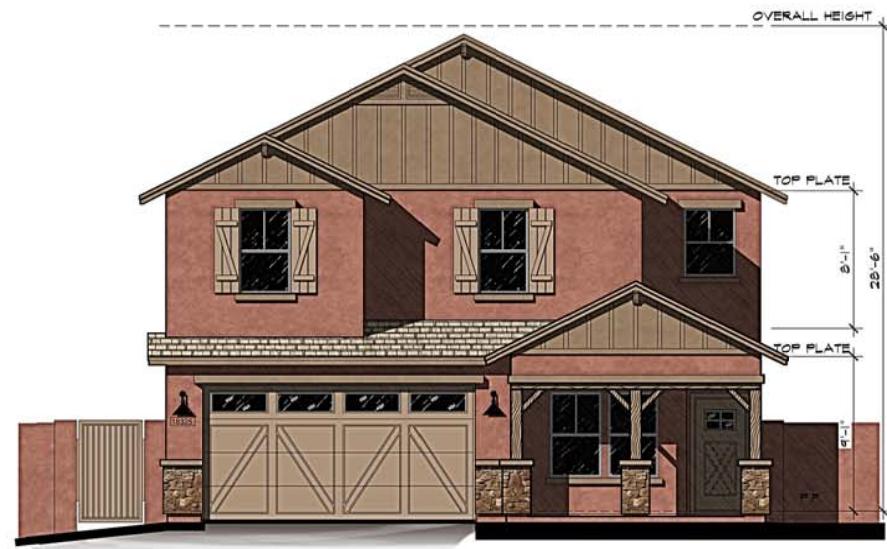
STANDARD ENTRY / PORCH:	181 SQ.FT.
STANDARD PATIO:	210 SQ.FT.
STANDARD GARAGE:	657 SQ.FT.
STANDARD LIVABLE 1st Flr:	1362 SQ.FT.
STANDARD LIVABLE 2nd Flr:	1512 SQ.FT.
STAIRS:	58 SQ.FT.
TOTAL LIVABLE :	3209 SQ.FT.
TOTAL UNDER ROOF :	3922 SQ.FT.
TOTAL 1st FLOOR FOOTPRINT:	2410 SQ.FT.
LOT :	5750 SQ.FT.
LOT COVERAGE :	42% (50% MAX.)

OPTIONS: (AFFECTING FOOTPRINT ONLY)	SF-D MIN. BUILDING SETBACKS:
(L) LIVABLE SQUARE FOOTAGE	FRONT LOAD GARAGE = 20'
(NL) NON-LIVABLE SQUARE FOOTAGE	* SIDE ENTRY GARAGE = 10'
***OPT. BONUS +196 (L) -196(NL)	* FRONT LIVABLE / PORCH = 10'
***OPT. LOFT(2nd FLOOR) +139 (L) +0(NL)	REAR = 15' (1-STORY) 15' (2-STORY)
OPT. DOOR +0 (L) +0 (NL)	SIDES = 5' & 10' (15 TOTAL)
(L) (NL)	* BUILDER IMPOSED SETBACK
TOTALS: (L) (NL)	** 3' STAGGER REQ. FOR EVERY THIRD LOT
FINISH FLOOR ELEVATION:	LINEAL FEET OF FENCE: 207 L.F.
FINISH PAD ELEVATION:	CONCRETE DRIVE / WALK : 390 SQ.FT.

**LEGEND**

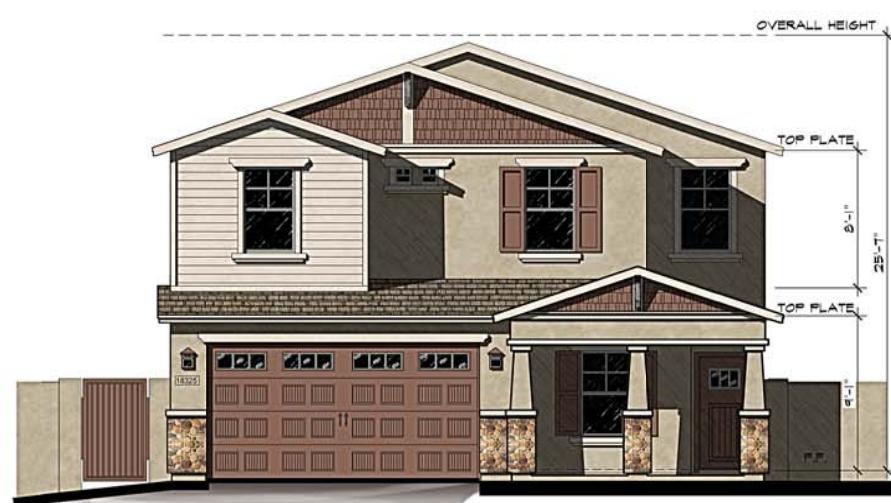
	ARCHITECTURAL OPTIONS
	SITE VISIBILITY TRIANGLE
	W.M.E. WALL MAINTENANCE EASEMENT
	N.V.A.E. NON-VEHICULAR ACCESS EASE.
	P.U.E. PUBLIC UTILITY EASEMENT
	B.S.L. BUILDING SETBACK LINE
	FIRE HYDRANT
	ELECTRIC SVC LOC
	JUNCTION BOX LOC
	STREET LIGHT LOC

SUBDIVISION **ELLIOT GROVES** PARCEL **2C** ADDRESS **TYPICAL ADDRESS**  
LOT **1** TYP. **3526** MODEL **ELLIO GROVES** ELEVATION **C**



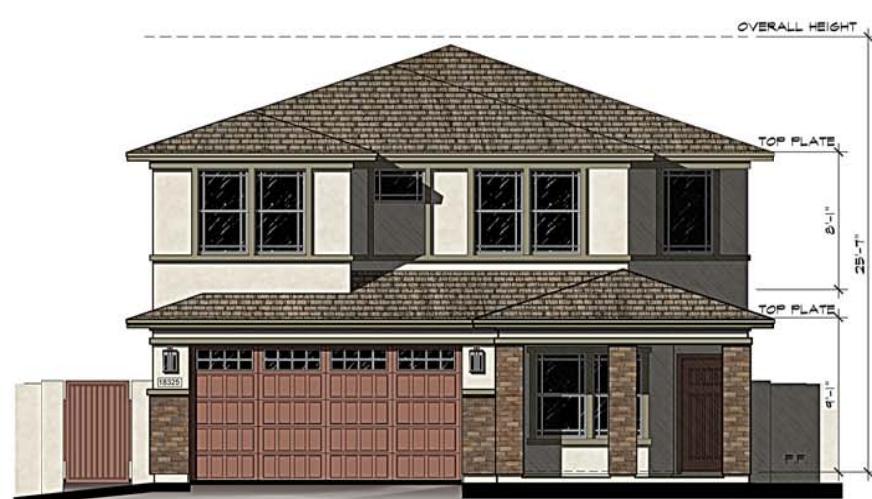
RANCH ELEVATION

8/16" = 1'-0"



CRAFTSMAN ELEVATION

8/16" = 1'-0"

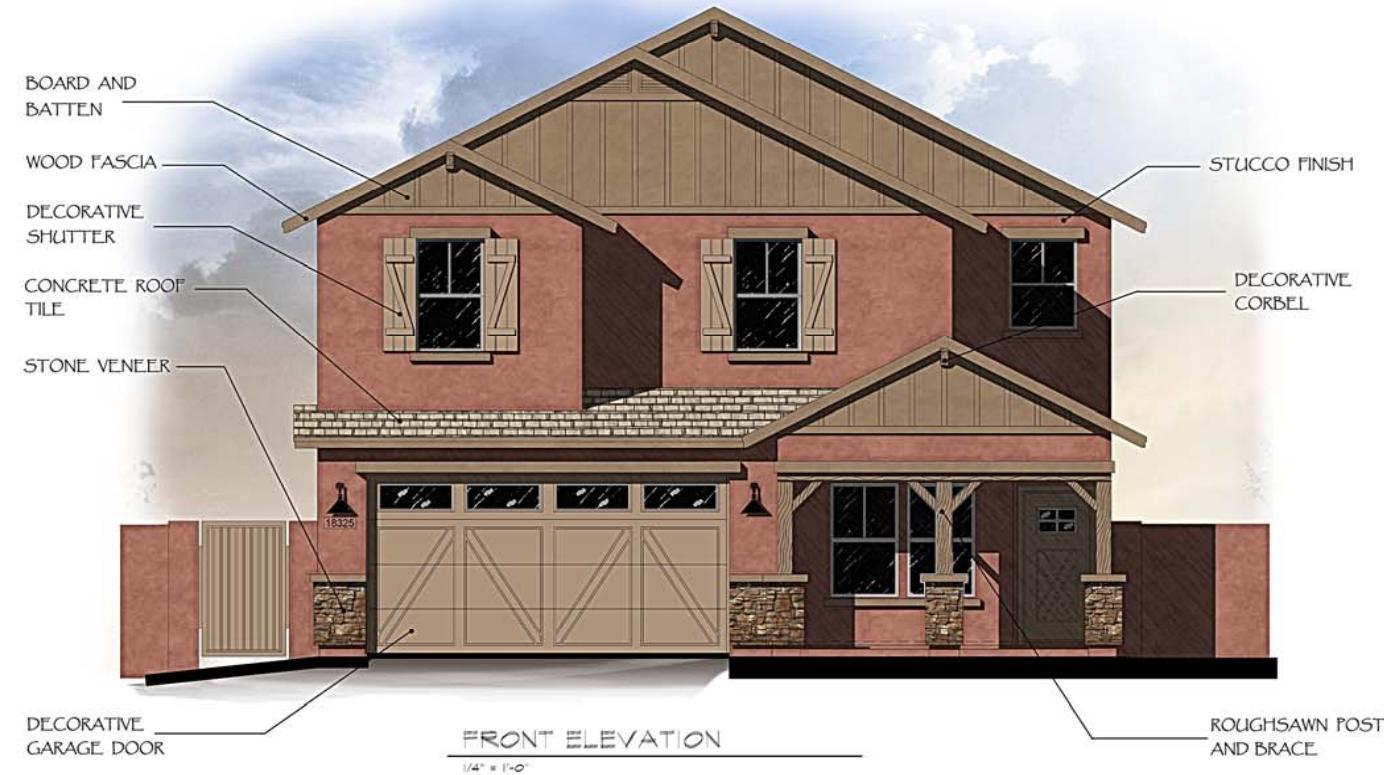


RAIRIE ELEVATION

8/16" = 1'-0"

## TAYLOR MORRISON 3500 SERIES PLAN 3526 ELEVATIONS

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ENGINEERS • ARCHITECTS • DESIGNERS  
"WHERE QUALITY DESIGN LEADS TO LOWER COST"



RIGHT ELEVATION

1/8" = 1'-0"



REAR ELEVATION

1/8" = 1'-0"



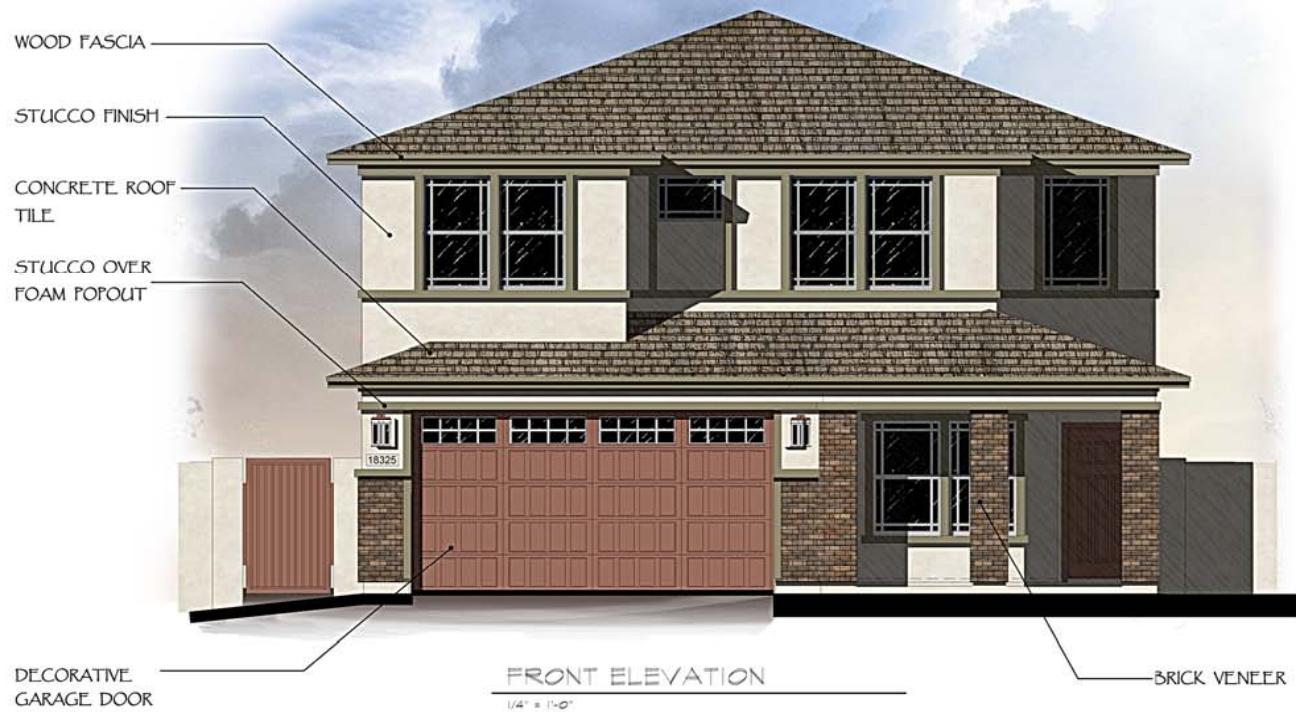
LEFT ELEVATION

1/8" = 1'-0"

DATE: 7/9/2014



DATE: 7/9/2014



RIGHT ELEVATION

1/8" = 1'-0"



REAR ELEVATION

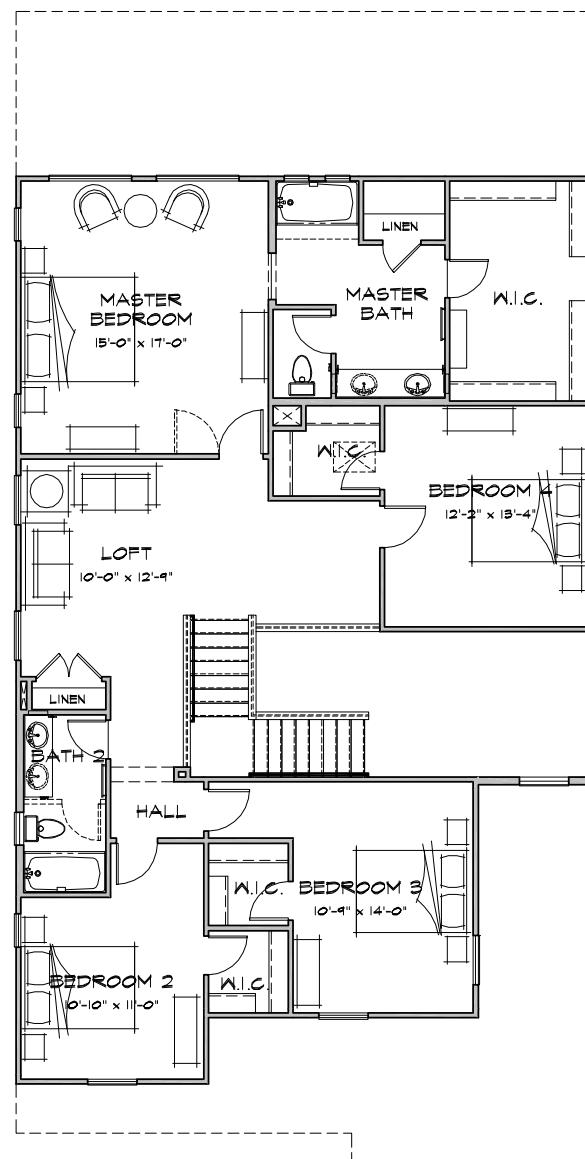
1/8" = 1'-0"



LEFT ELEVATION

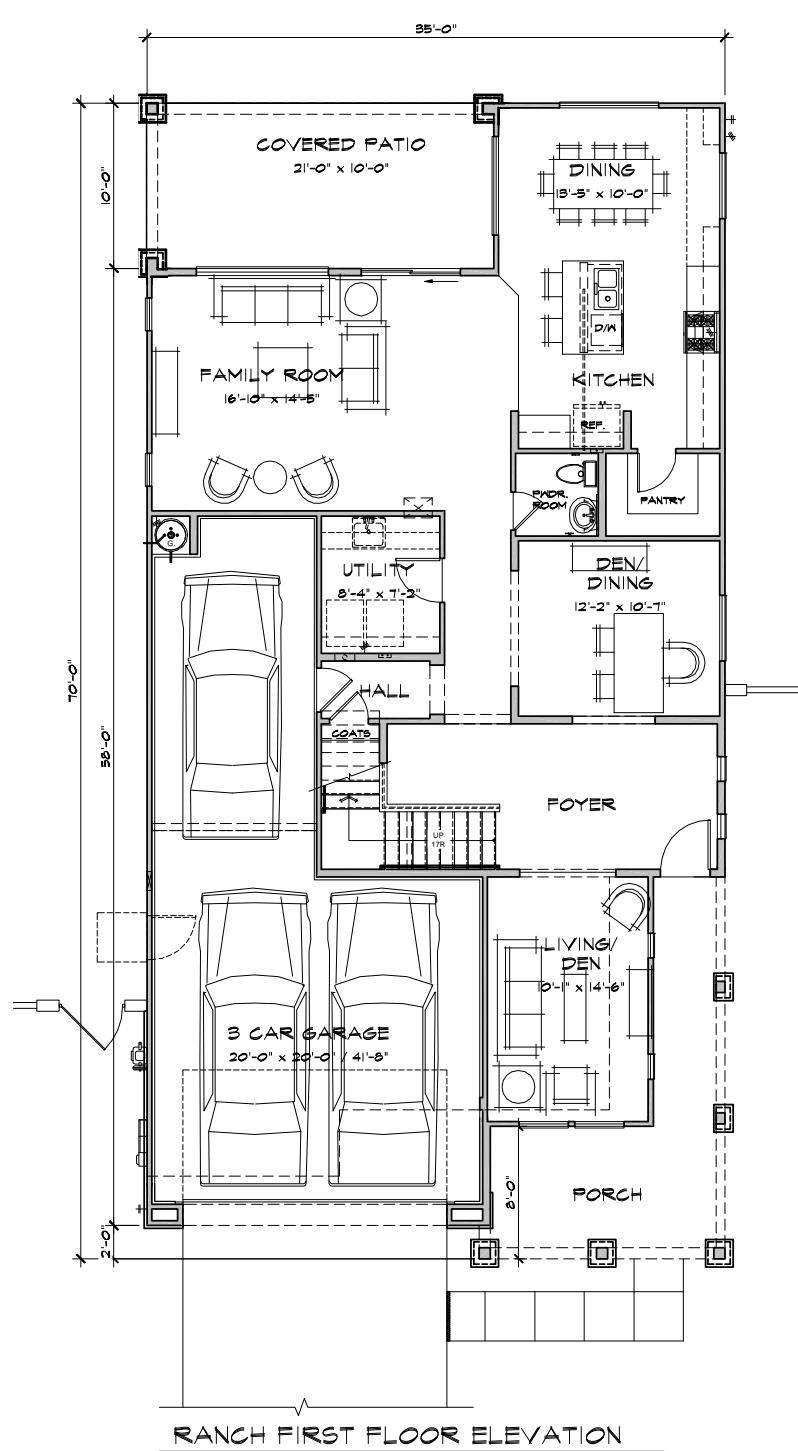
1/8" = 1'-0"

DATE: 7/9/2014



RANCH SECOND FLOOR ELEVATION

3/16" = 1'-0"



RANCH FIRST FLOOR ELEVATION

3/16" = 1'-0"

DATE: 7/9/2014

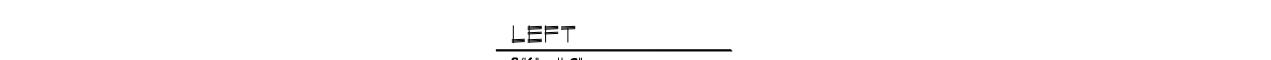
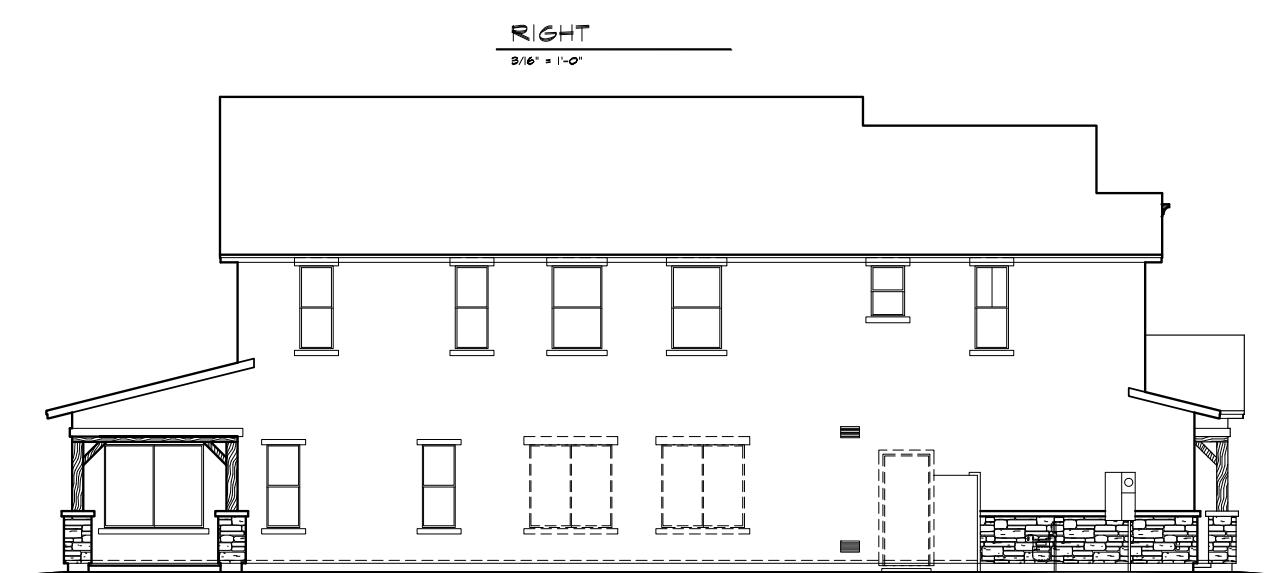
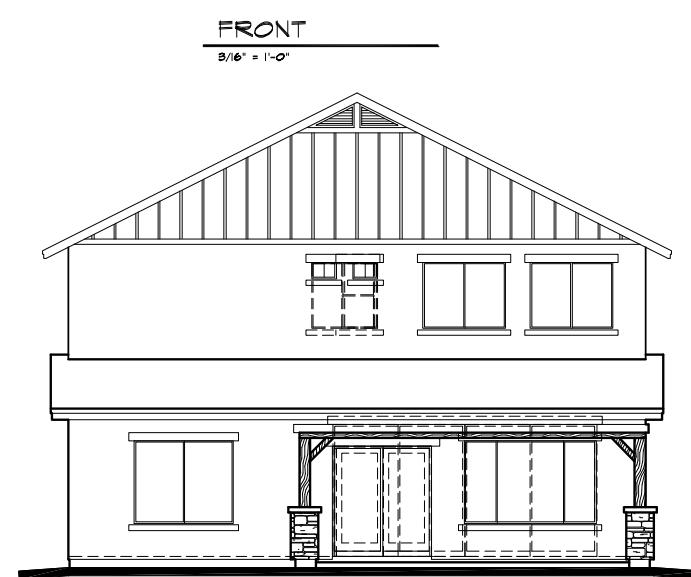
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PLAN 3526 FLOOR PLAN

FELTEN GROUP

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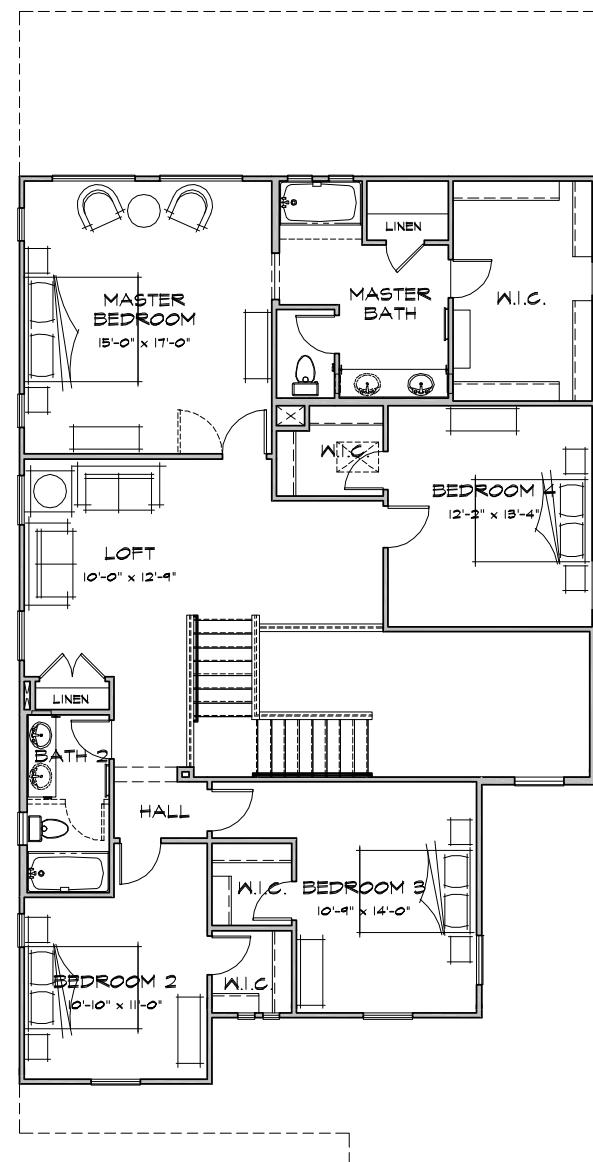


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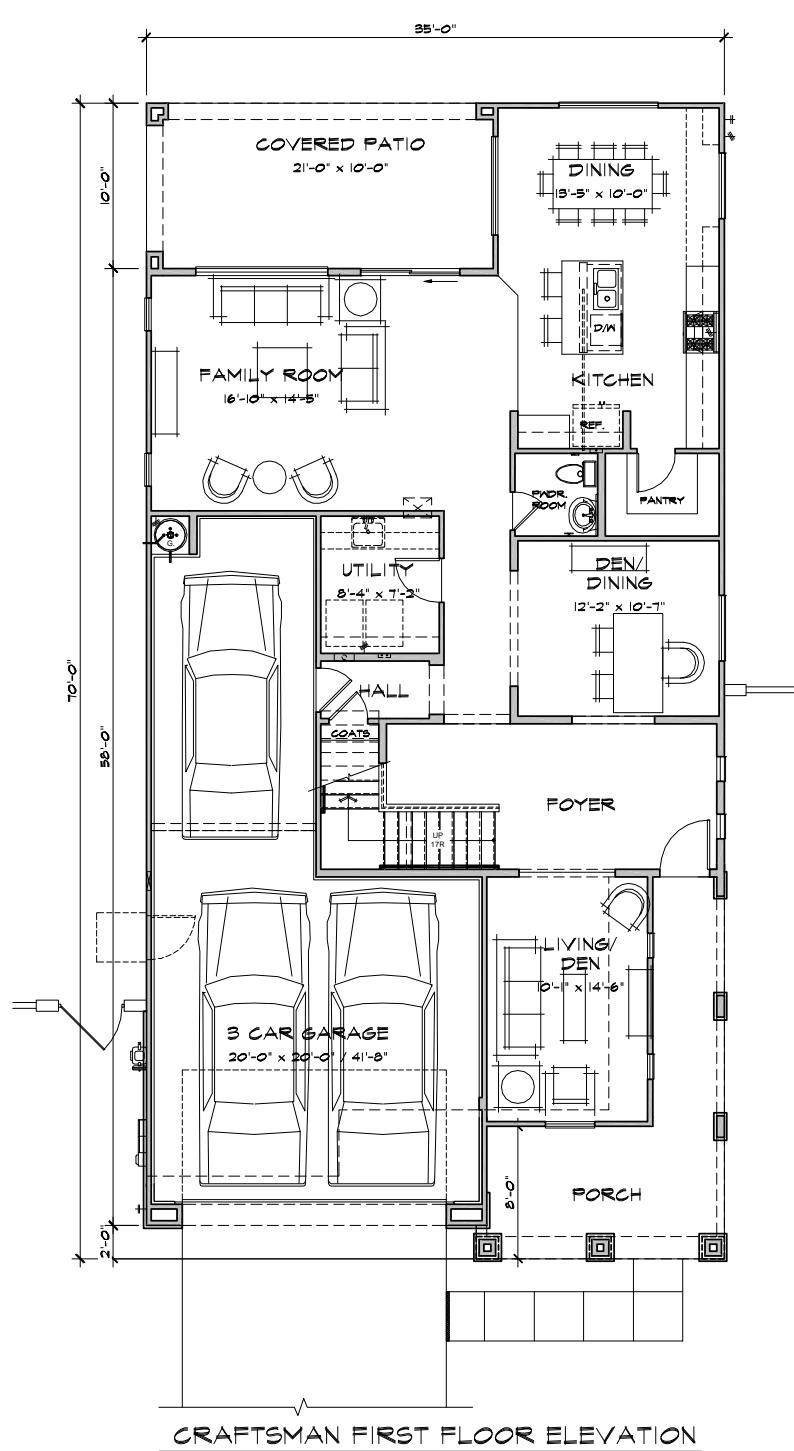
TAYLOR MORRISON 3500 SERIES  
PLAN 3526 ELEVATIONS

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CRAFTSMAN SECOND FLOOR ELEVATION

$\frac{3}{16}'' = 1'-0''$



CRAFTSMAN FIRST FLOOR ELEVATION

$\frac{3}{16}'' = 1'-0''$

DATE: 7/9/2014

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PLAN 3526 FLOOR PLAN

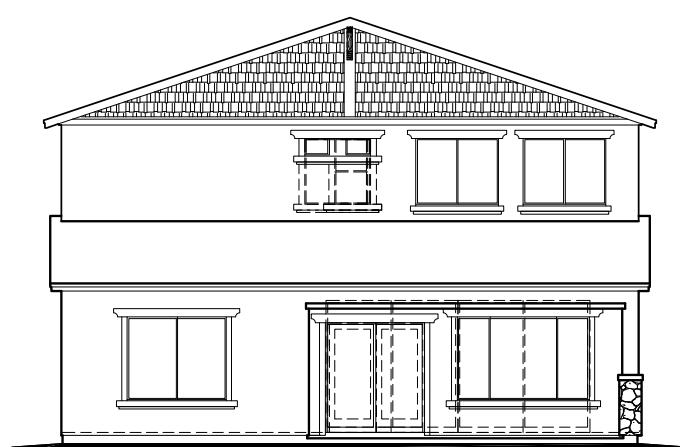
FELTEN GROUP

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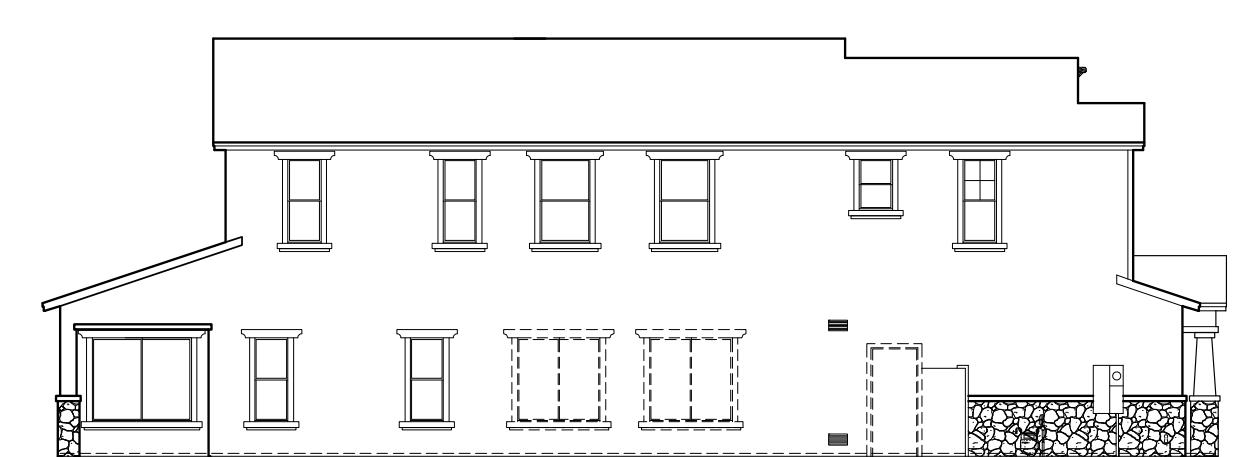
FRONT



REAR



RIGHT



LEFT

9/16" = 1'-0"

DATE: 7/9/2014

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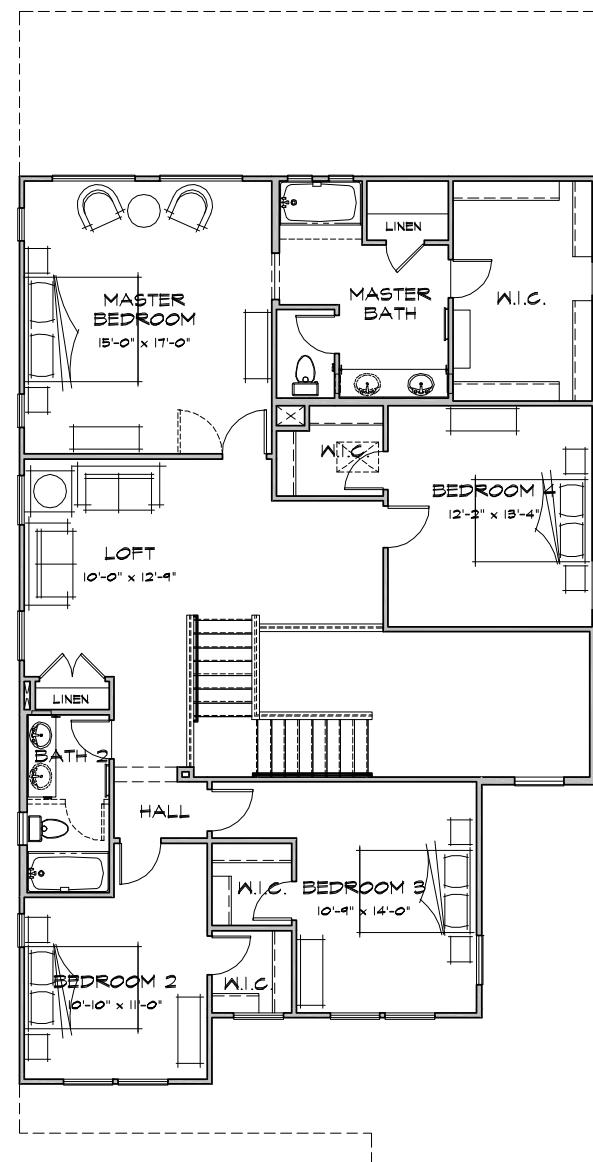
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TAYLOR MORRISON 3500 SERIES  
PLAN 3526 ELEVATIONS

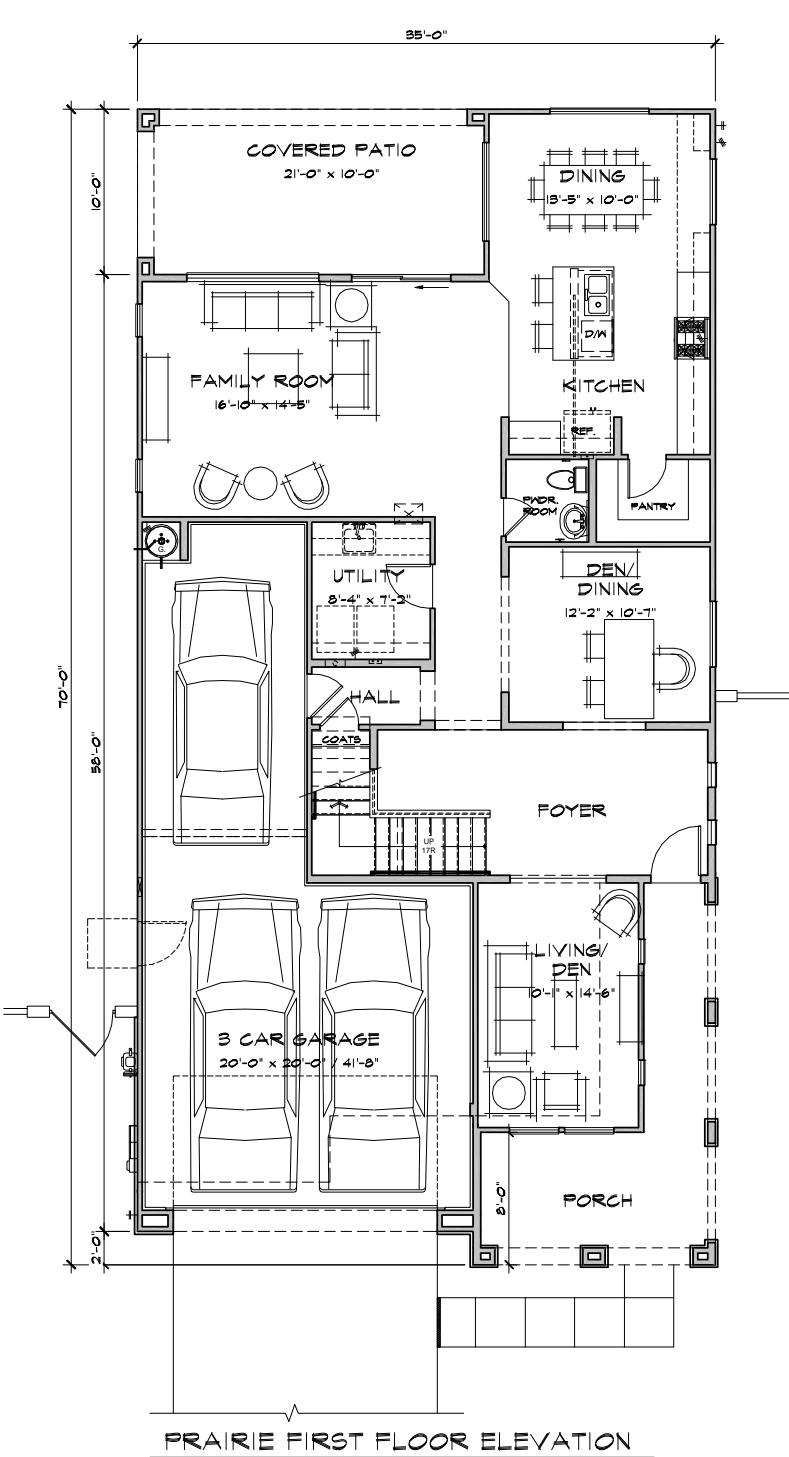
FELTEN GROUP

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PRAIRIE SECOND FLOOR ELEVATION



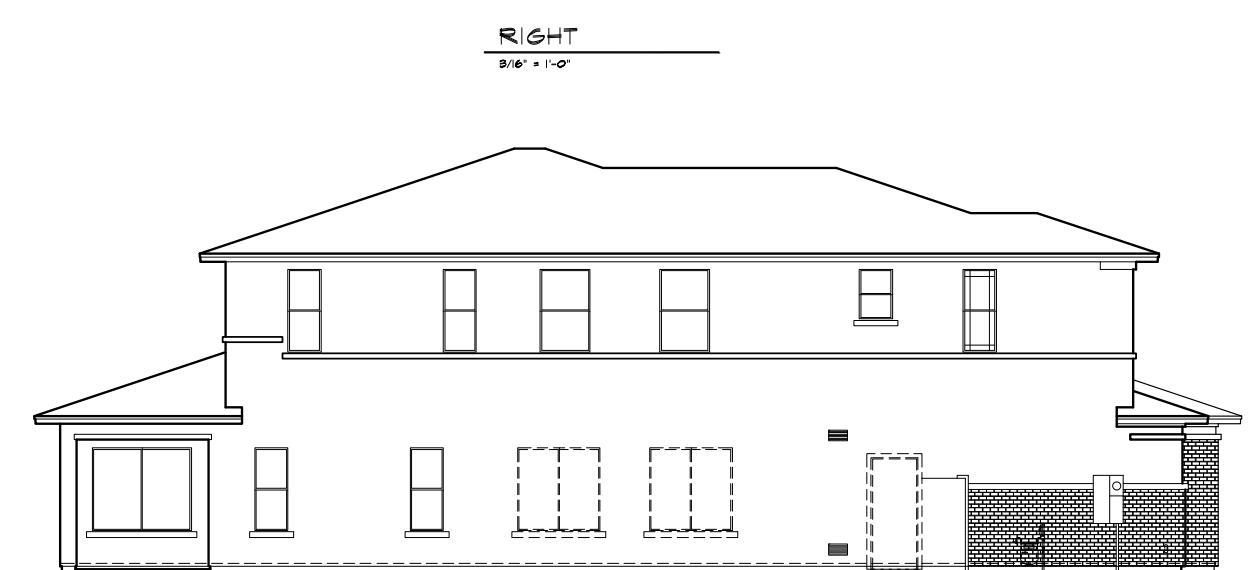
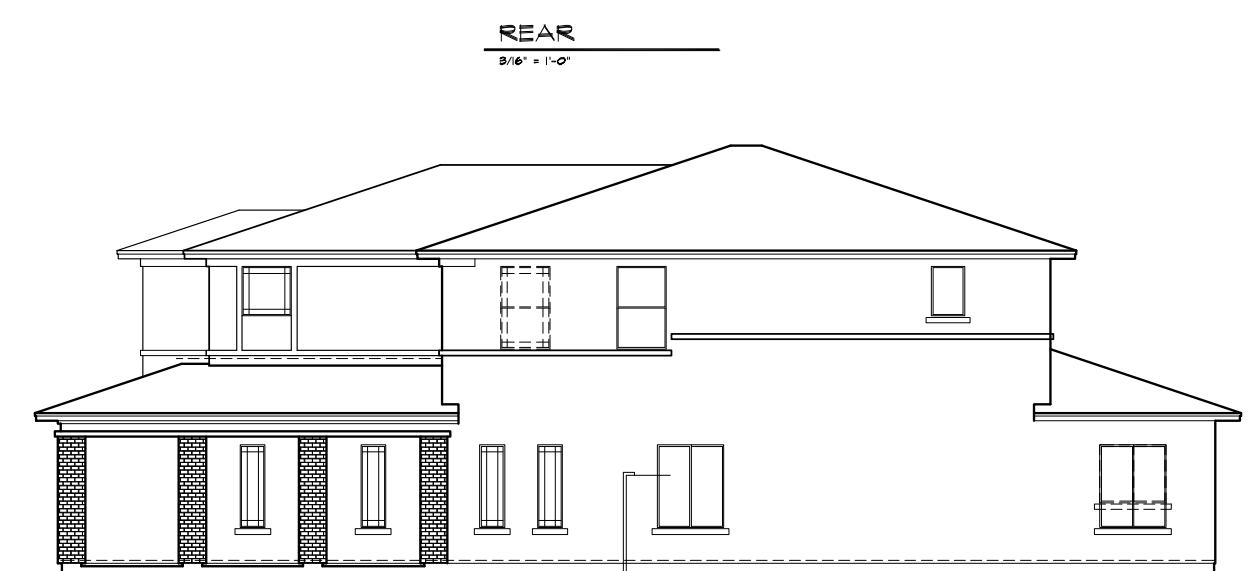
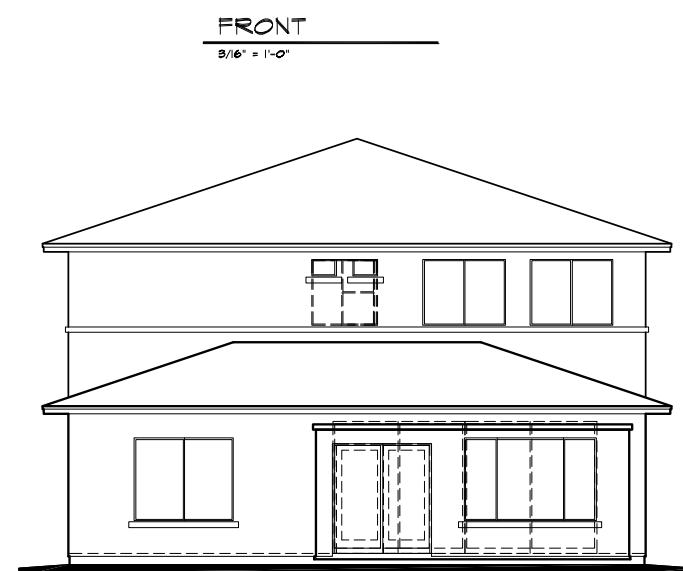
PRAIRIE FIRST FLOOR ELEVATION

DATE: 7/9/2014

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PLAN 3526 FLOOR PLAN

FELTEN GROUP  
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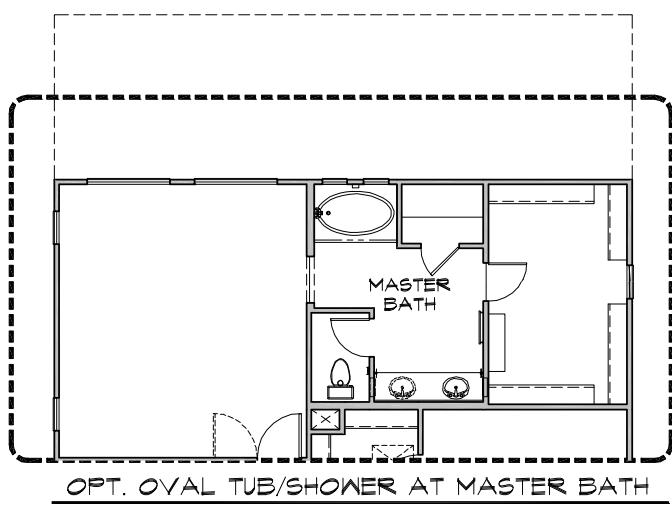


DATE: 7/9/2014

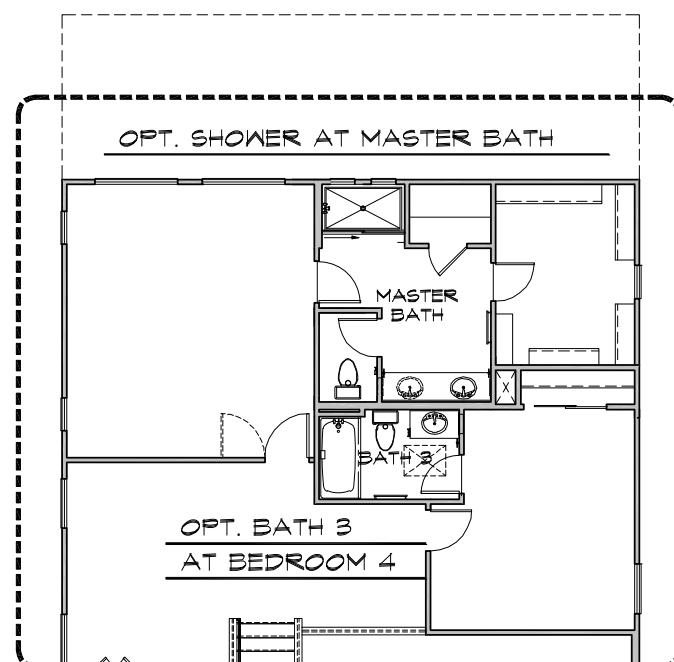
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PLAN 3526 ELEVATIONS

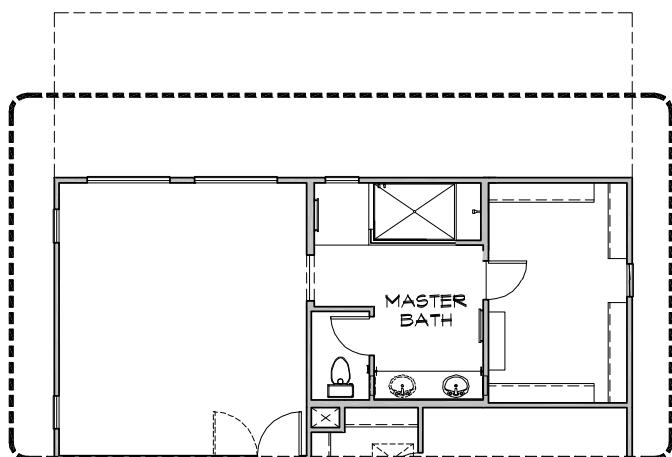
FELTEN GROUP  
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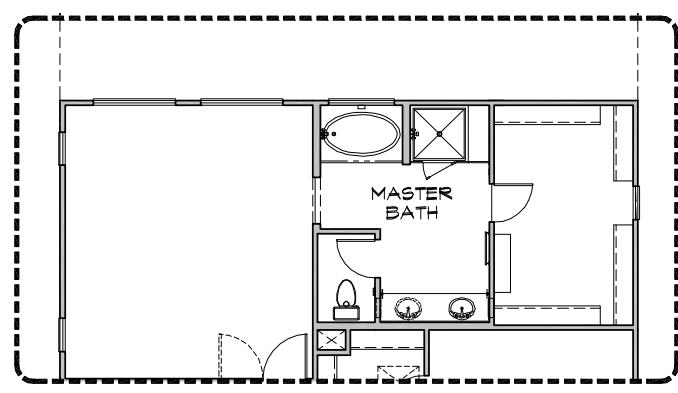
OPT. OVAL TUB/SHOWER AT MASTER BATH



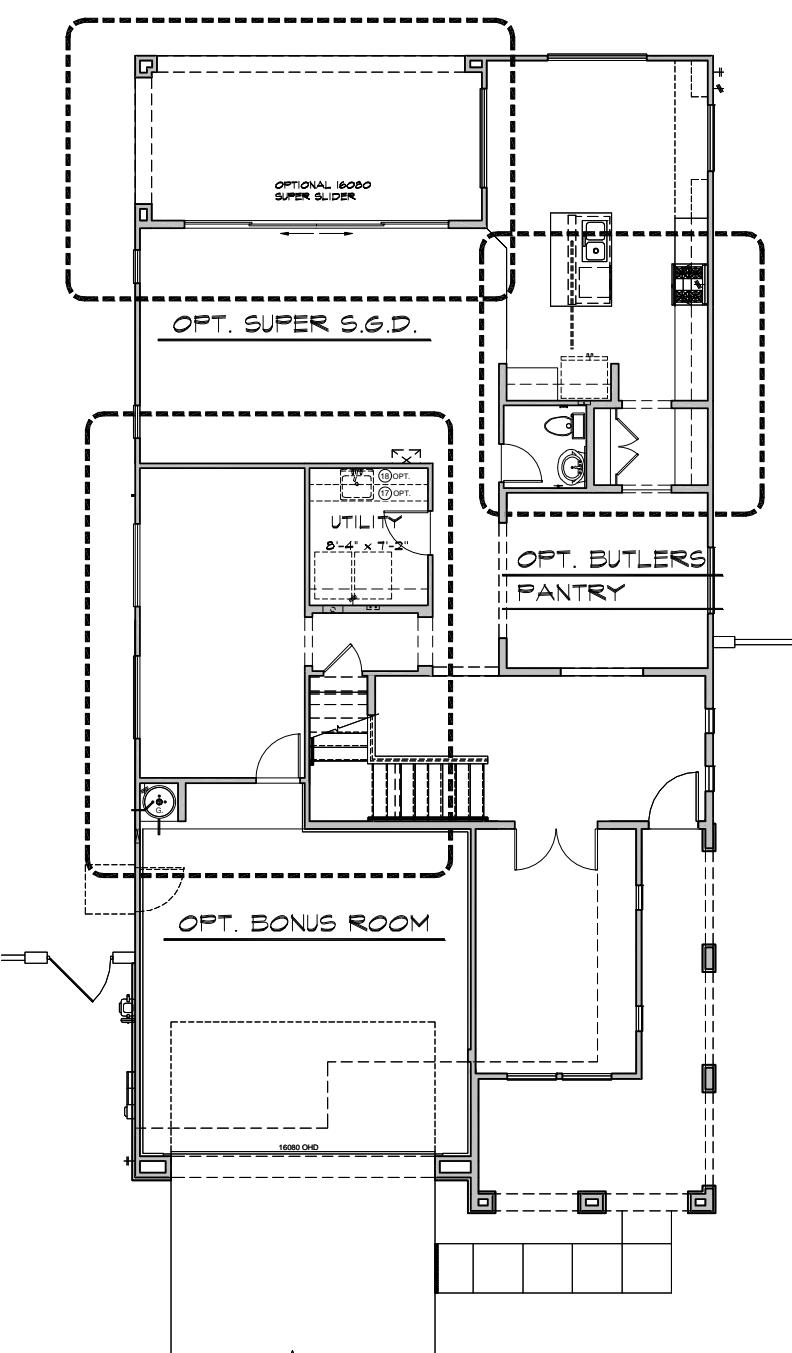
OPT. BATH 3  
AT BEDROOM 4



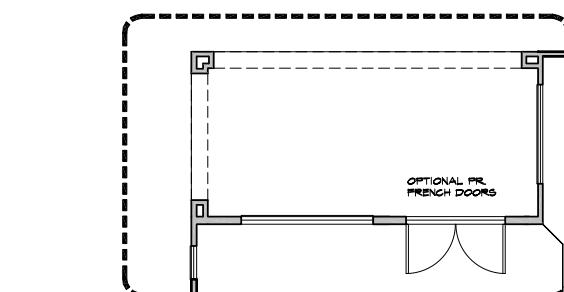
OPT. W.I. SHOWER AT MASTER BATH



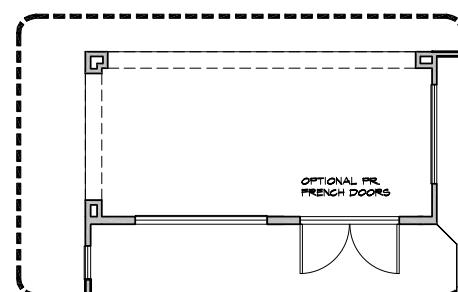
OPT. OVAL TUB AND SEPERATE  
SHOWER AT MASTER BATH



FLOOR PLAN OPTIONS  
(ELEV. 'B' AND 'C' SIM.)



OPT. BUILDOVER LOFT



OPT. PR. FRENCH DOORS

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Scottsdale, Arizona 85258



0 30 60

TYPICAL PLOT PLAN

SCALE: 1"=30'-0"

*NOT CONSTRUCTION*

GRADING AND DRAINAGE ACKNOWLEDGMENT –  
LOTS HAVE BEEN DESIGNED TO PROVIDE DRAINAGE  
FROM THE LOT TO A STREET OR DIRECTLY TO A  
WASH/OPEN SPACE AREA. THE OWNER SHALL BE  
RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE  
FINISH GRADE CAUSED BY LANDSCAPING AFTER  
CLOSE OF ESCROW.

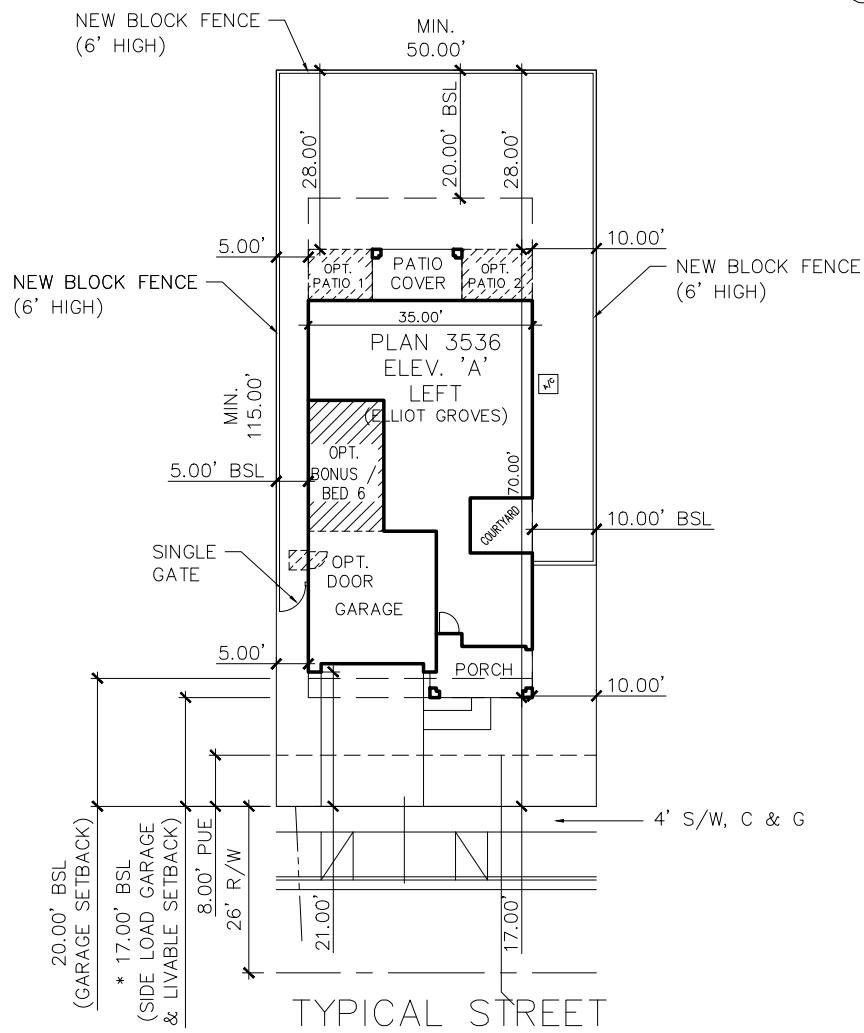
INITIALS: \_\_\_\_\_ INITIALS: \_\_\_\_\_

DATE DRAWN: 5/19/14

REVISION DATE: \_\_\_\_\_

GENERAL NOTE:

NO PART OF THE STRUCTURE WILL  
ENCROACH INTO THE 5' FIRE  
SEPARATION DISTANCE PER 2012 IRC  
R302 U.N.O.



COORDINATE ALL EASEMENTS (U.B.E., P.U.E., N.V.A.E., ETC.) w/ APPROVED PLAT –  
TYPICAL

\*\*\*NOTE:

OPTION(s) USED TO CALCULATE TOTAL  
MAXIMUM LIVABLE AND UNDER ROOF SQ. FT.

STANDARD ENTRY / PORCH: 132 SQ.FT.

STANDARD PATIO: 112 SQ.FT.

STANDARD GARAGE: 676 SQ.FT.

STANDARD LIVABLE 1st Flr: 1286 SQ.FT.

STANDARD LIVABLE 2nd Flr: 1807 SQ.FT.

ARCH. PROJECTIONS: 48 SQ.FT.

STAIRS: 77 SQ.FT.

TOTAL LIVABLE : 3334 SQ.FT.

TOTAL UNDER ROOF : 4207 SQ.FT.

TOTAL 1st FLOOR FOOTPRINT: 2400 SQ.FT.

LOT : 5750 SQ.FT.

LOT COVERAGE : 42% (50% MAX.)

OPTIONS: (AFFECTING FOOTPRINT ONLY)

(L) LIVABLE SQUARE FOOTAGE

(NL) NON-LIVABLE SQUARE FOOTAGE

OPT. PATIO 1 +0(L) +80(NL)

\*\*\*OPT. PATIO 2 0(L) +168(NL)

OPT. DOOR +0(L) -241(NL)

OPT. DOOR +0(L) +0(NL)

TOTALS: (L) (NL)

FINISH FLOOR ELEVATION:

FINISH PAD ELEVATION:

SF-D MIN. BUILDING SETBACKS:

FRONT LOAD GARAGE = 20'

\* SIDE ENTRY GARAGE = 10'

\* FRONT LIVABLE / PORCH = 10'

REAR = 15' (1-STORY) 15' (2-STORY)

SIDES = 5' & 10' (15 TOTAL)

\* BUILDER IMPOSED SETBACK

\*\* 3' STAGGER REQ. FOR EVERY THIRD LOT

LINEAL FEET OF FENCE: 220 L.F.

CONCRETE DRIVE / WALK : 374 SQ.FT.

NOTE:  
FENCE LINES AND RETAINING WALLS MAY  
VARY BASED ON EXISTING FIELD  
CONDITIONS. ALL MEASUREMENTS,  
ORIENTATION, AND UTILITY LOCATIONS ARE  
APPROXIMATE. FIELD SUPERINTENDENT TO  
VERIFY PRIOR TO START OR CONSTRUCTION.

LEGEND

- ARCHITECTURAL OPTIONS
- S.D.T. SITE VISIBILITY TRIANGLE
- W.M.E. WALL MAINTENANCE EASEMENT
- N.V.A.E. NON-VEHICULAR ACCESS EASE.
- P.U.E. PUBLIC UTILITY EASEMENT
- B.S.L. BUILDING SETBACK LINE
- FIRE HYDRANT
- ELECTRIC SVC LOC
- JUNCTION BOX LOC
- STREET LIGHT LOC

SUBDIVISION ELLIOT GROVES PARCEL 2C ADDRESS TYPICAL ADDRESS  
LOT TYP. MODEL 3536 ELEVATION A



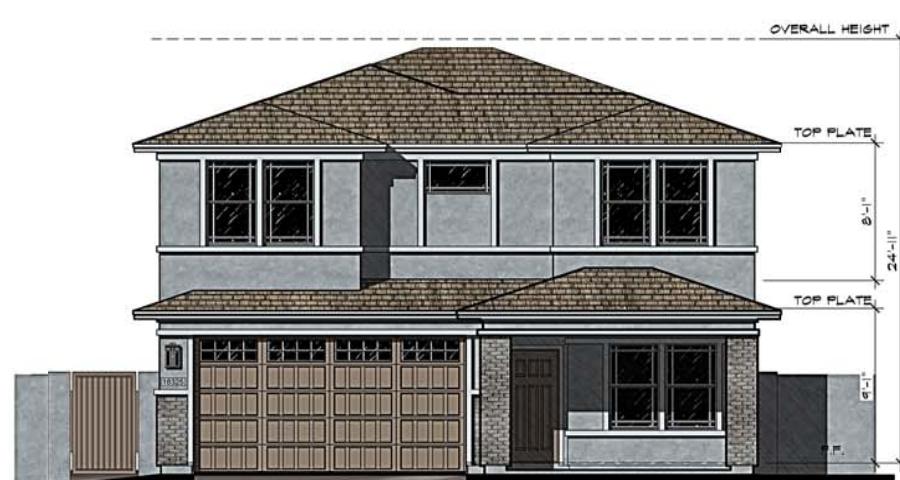
RANCH ELEVATION

$\frac{3}{16}'' = 1'-0''$



CRAFTSMAN ELEVATION

$\frac{3}{16}'' = 1'-0''$

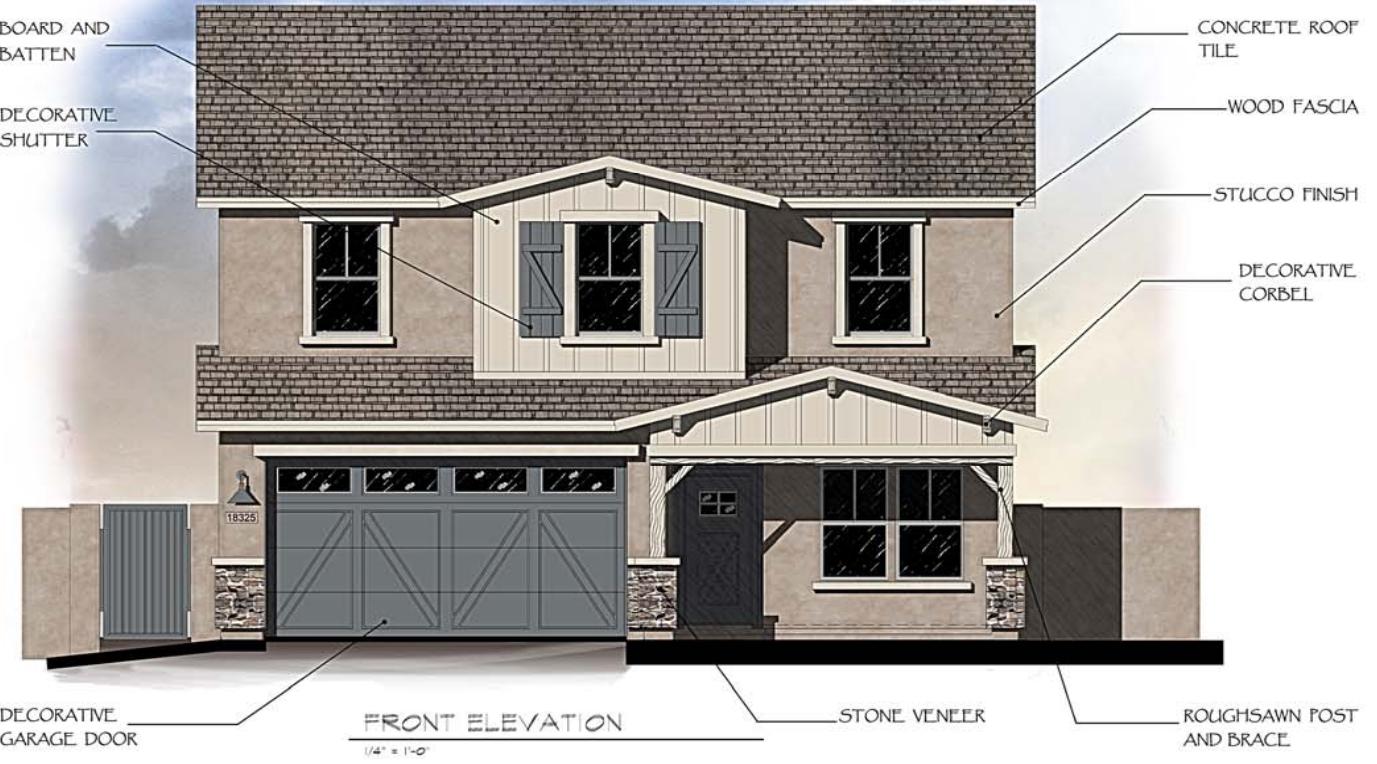


PRairie ELEVATION

$\frac{3}{16}'' = 1'-0''$

## TAYLOR MORRISON 3500 SERIES PLAN 3536 ELEVATIONS

FELTEN GROUP  
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"WHERE QUALITY DESIGN LEADS TO LOWER COST"



RIGHT ELEVATION

1/8" = 1'-0"



REAR ELEVATION

1/8" = 1'-0"



LEFT ELEVATION

1/8" = 1'-0"

DATE: 7/9/2014



RIGHT ELEVATION

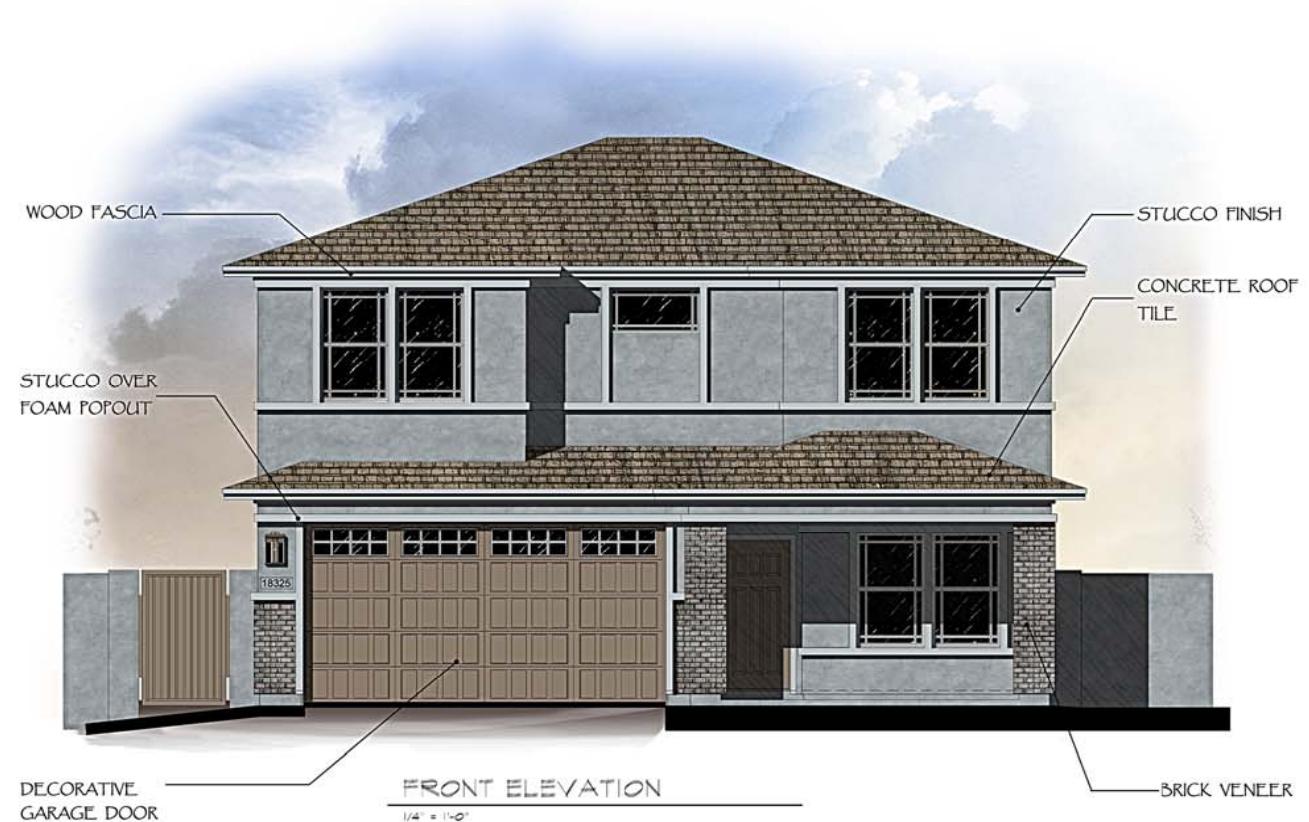


REAR ELEVATION



LEFT ELEVATION

DATE: 7/9/2014



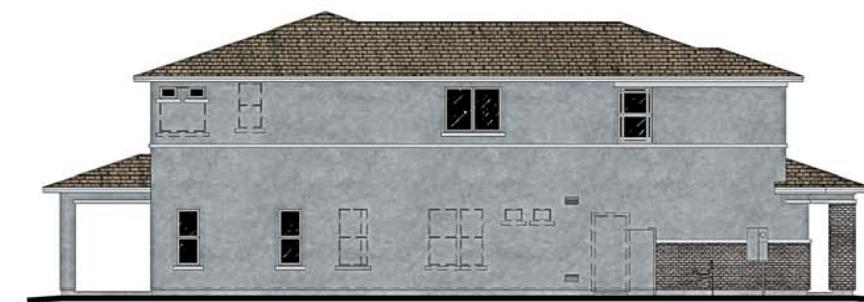
RIGHT ELEVATION

1/8" = 1'-0"



REAR ELEVATION

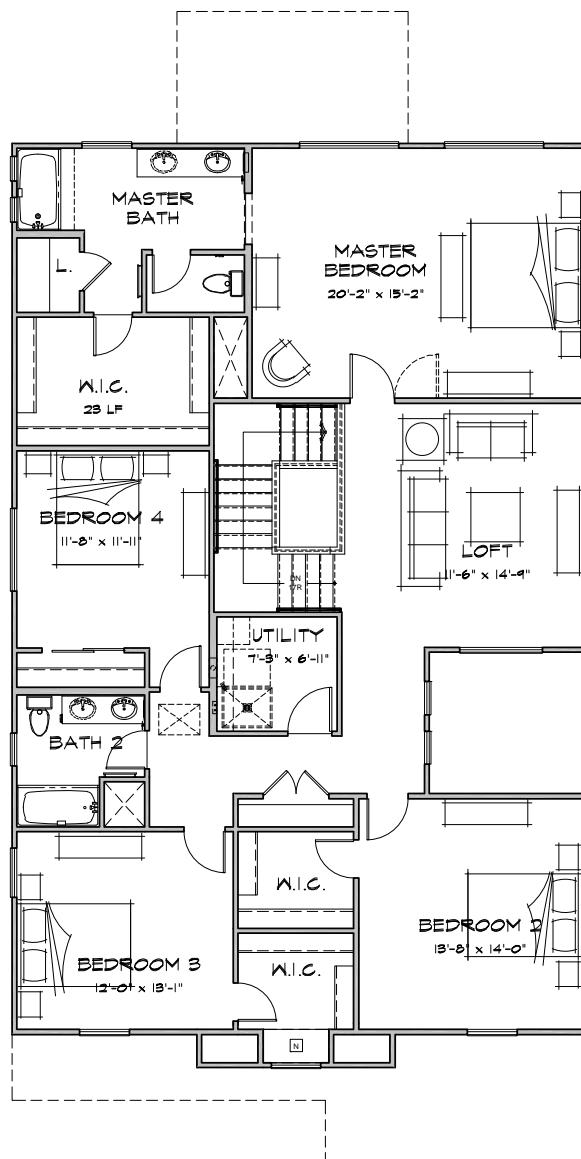
1/8" = 1'-0"



LEFT ELEVATION

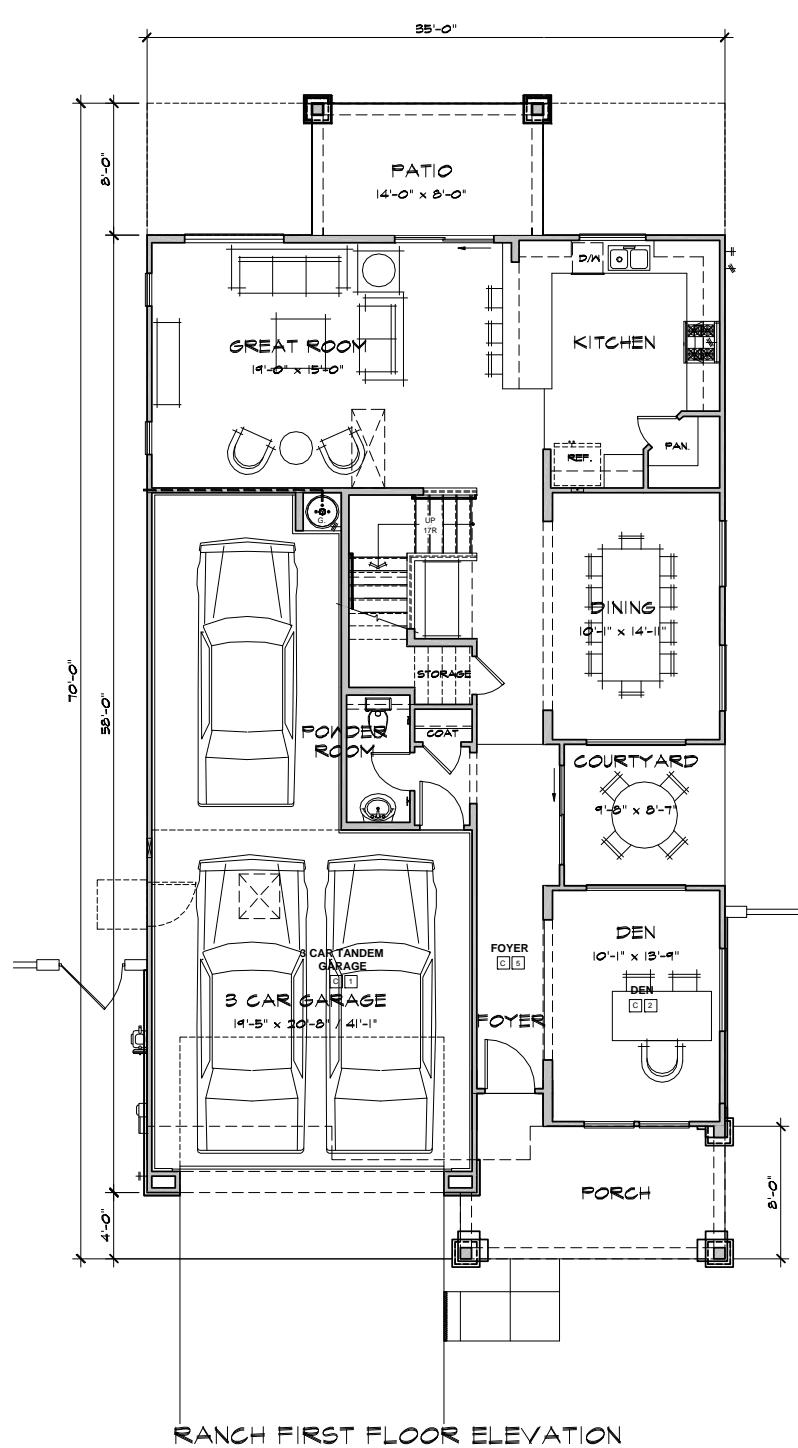
1/8" = 1'-0"

DATE: 7/9/2014



RANCH SECOND FLOOR ELEVATION

3/16" = 1'-0"



RANCH FIRST FLOOR ELEVATION

3/16" = 1'-0"

DATE: 7/9/2014

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PLAN 3536 FLOOR PLAN

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"WHERE QUALITY DESIGN LEADS TO LOWER COST"

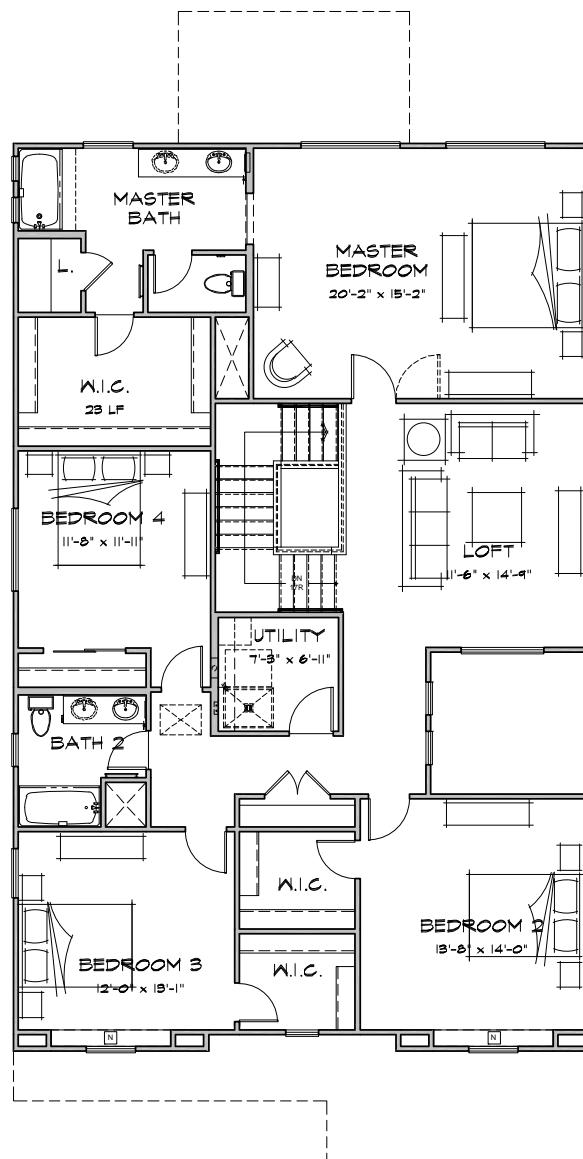


DATE: 7/9/2014

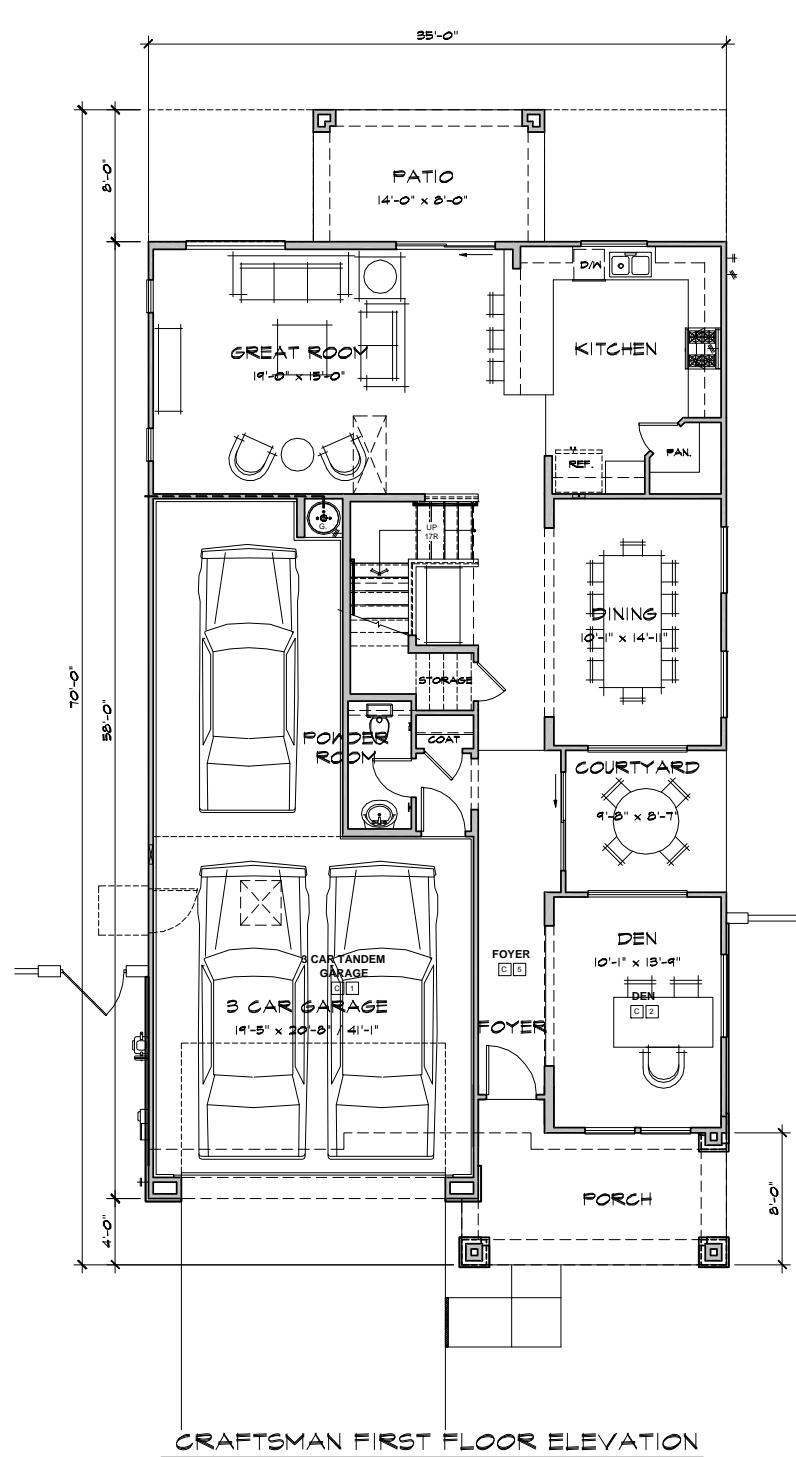
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CRAFTSMAN SECOND FLOOR ELEVATION



CRAFTSMAN FIRST FLOOR ELEVATION

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FRONT

1/16" = 1'-0"



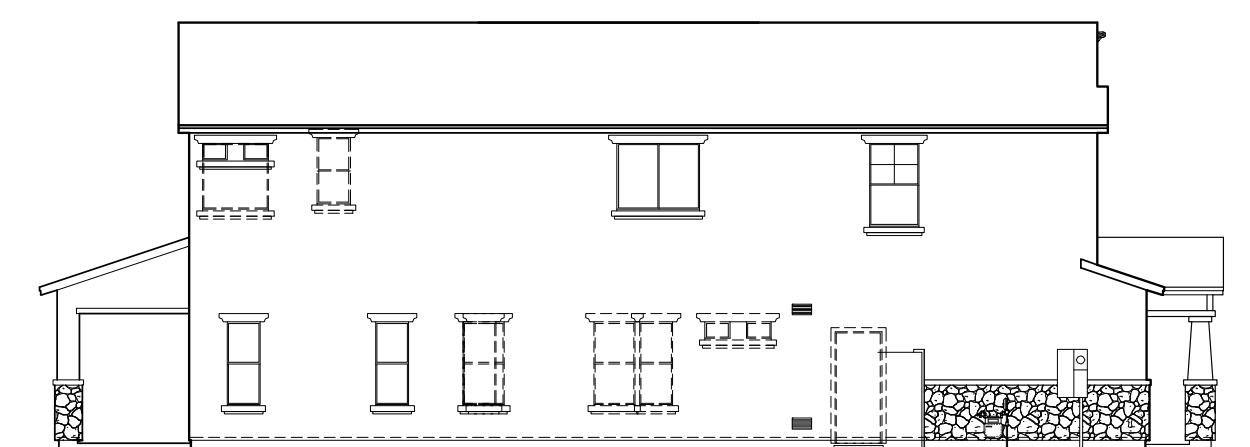
REAR

1/16" = 1'-0"



RIGHT

1/16" = 1'-0"



LEFT

1/16" = 1'-0"

DATE: 7/9/2014

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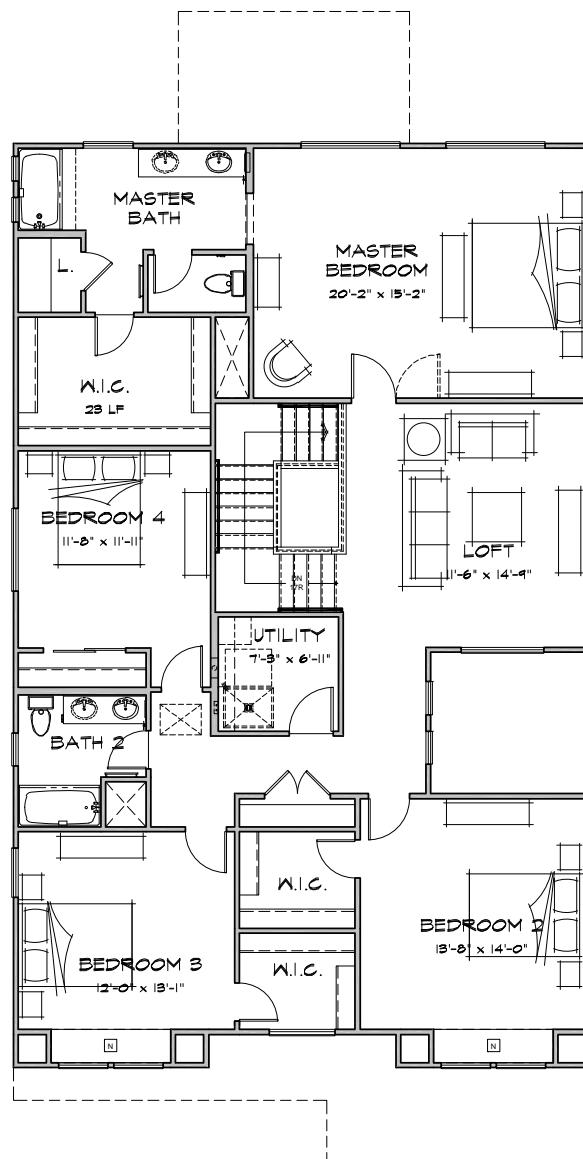
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PLAN 3536 ELEVATIONS

FELTEN GROUP

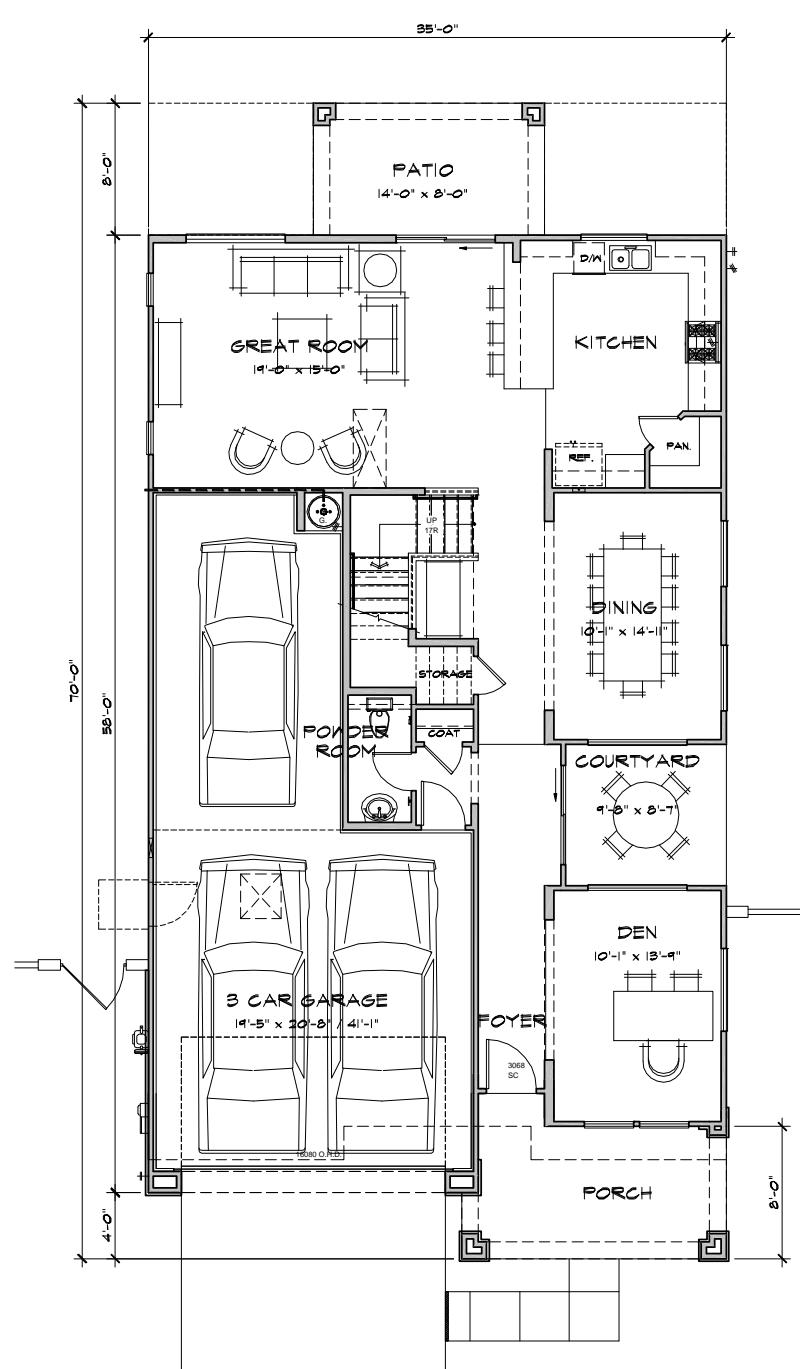
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PRAIRIE SECOND FLOOR ELEVATION

$\frac{5}{16}'' = 1'-0''$



PRAIRIE FIRST FLOOR ELEVATION

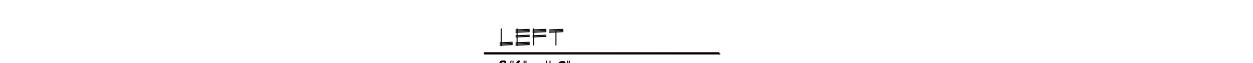
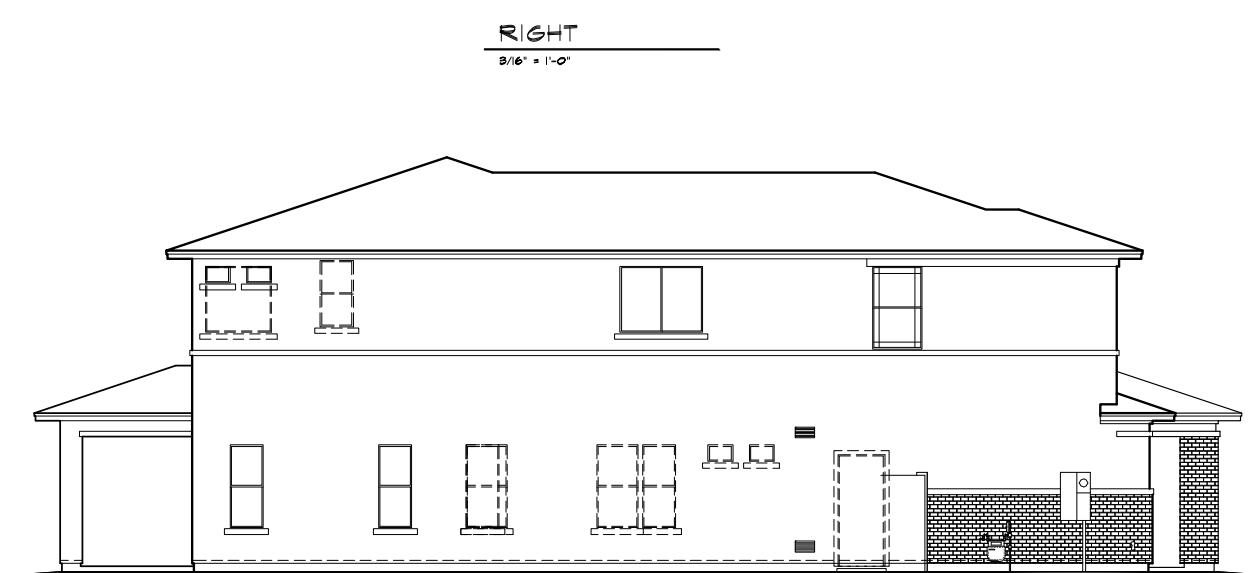
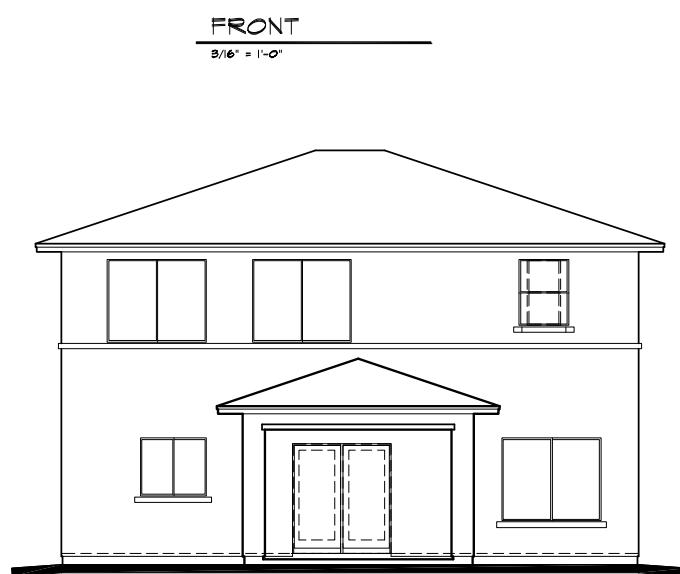
$\frac{5}{16}'' = 1'-0''$

DATE: 7/9/2014

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PLAN 3536 FLOOR PLAN

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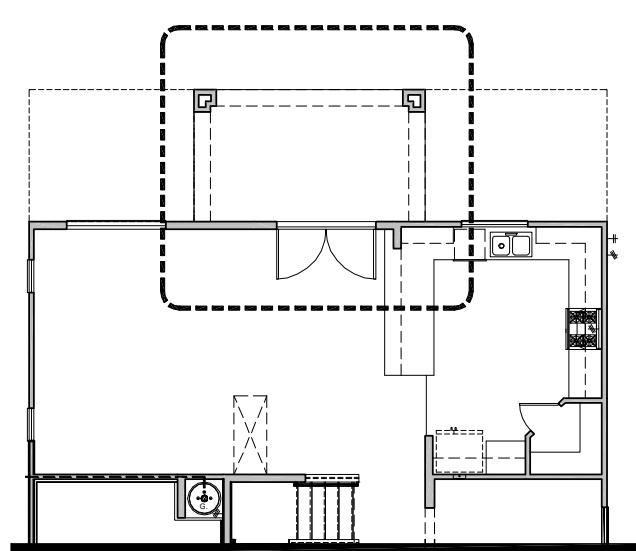


DATE: 7/9/2014

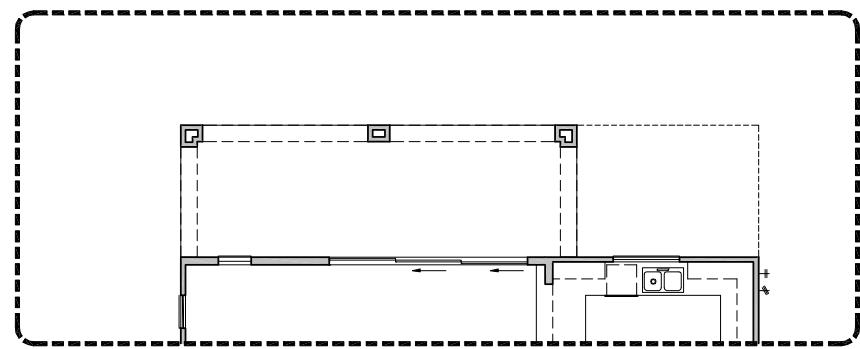
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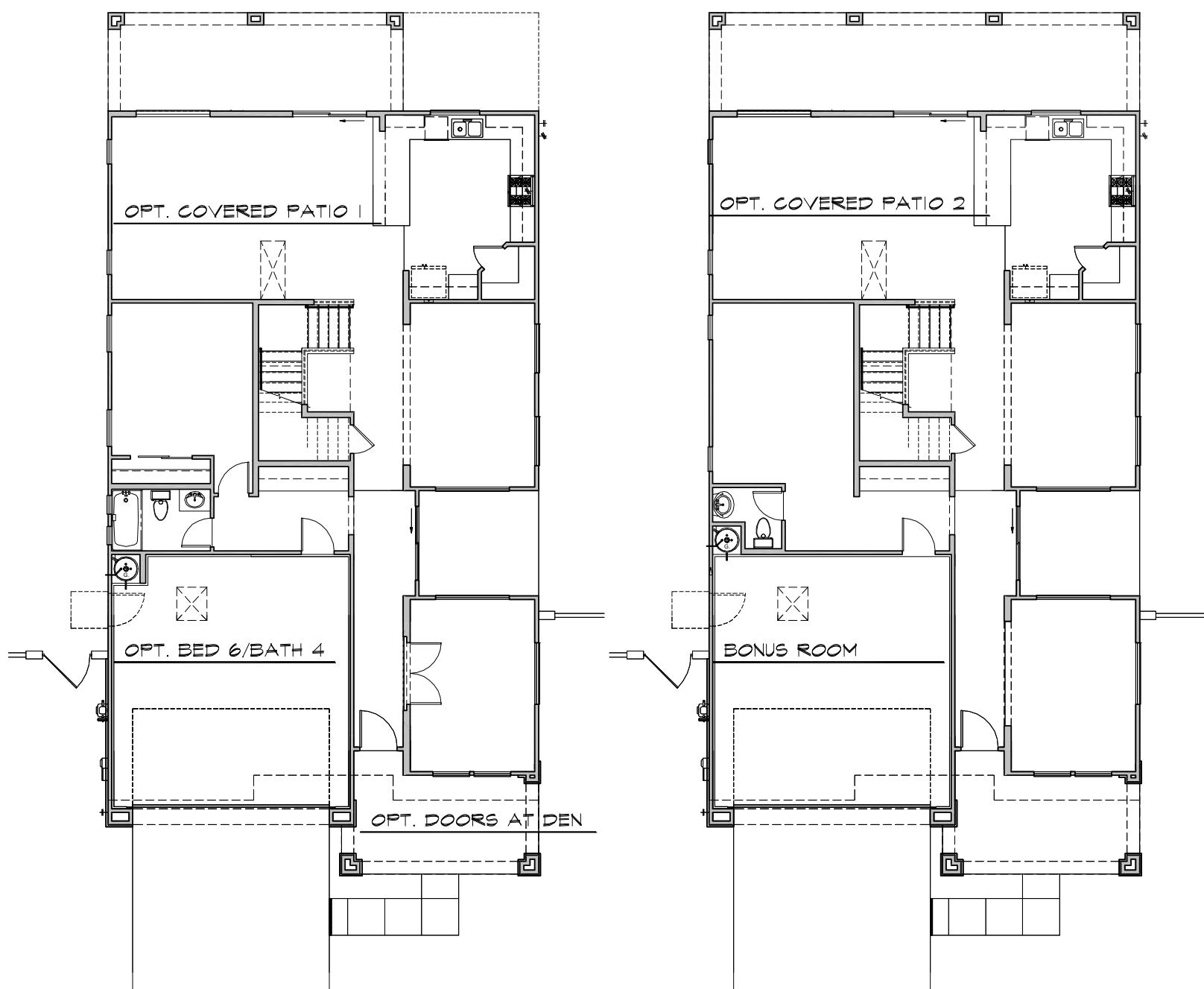
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OPT. FR. DRS. AT PATIO



OPT. 12080 MULTI-PANEL SLIDING GLASS DOOR  
(OPT. ONLY AVAILABLE WITH  
OPT. COVERED PATIO 1 OR 2)



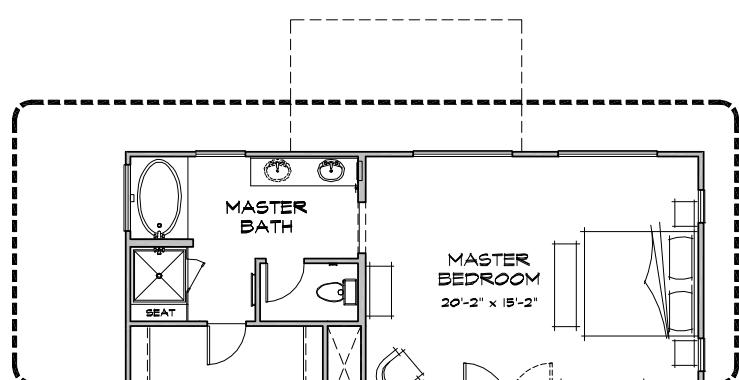
FIRST FLOOR PLAN OPTIONS  
(ELEV. 'B' AND 'C' SIM.)

DATE: 7/9/2014

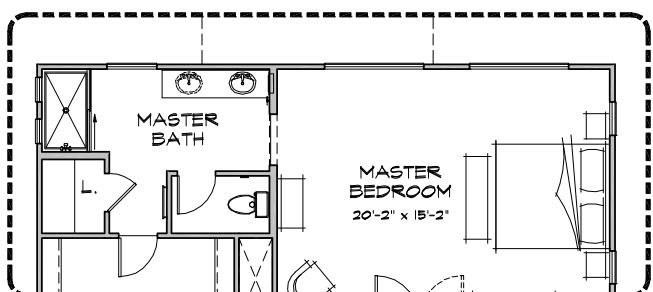
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PLAN 3536 FLOOR PLAN

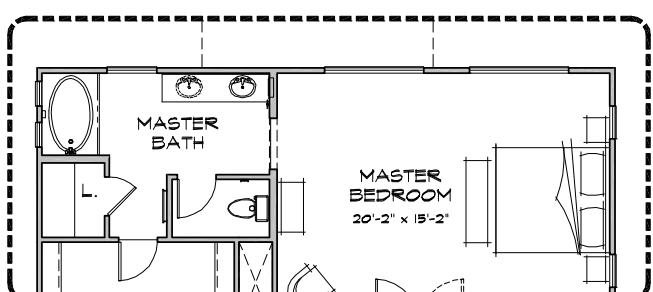
FELTEN GROUP  
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"WHERE QUALITY DESIGN LEADS TO LOWER COST"



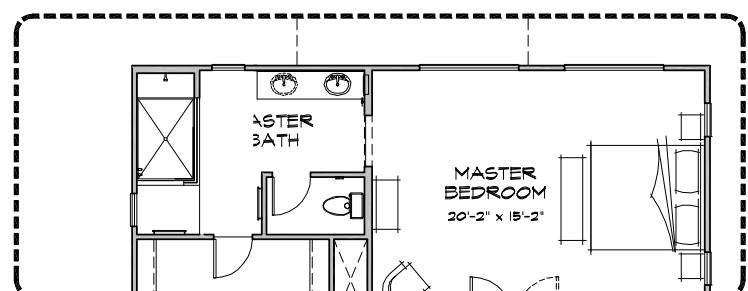
OPT. OVAL TUB AND SEPARATE  
SHOWER AT MASTER BATH



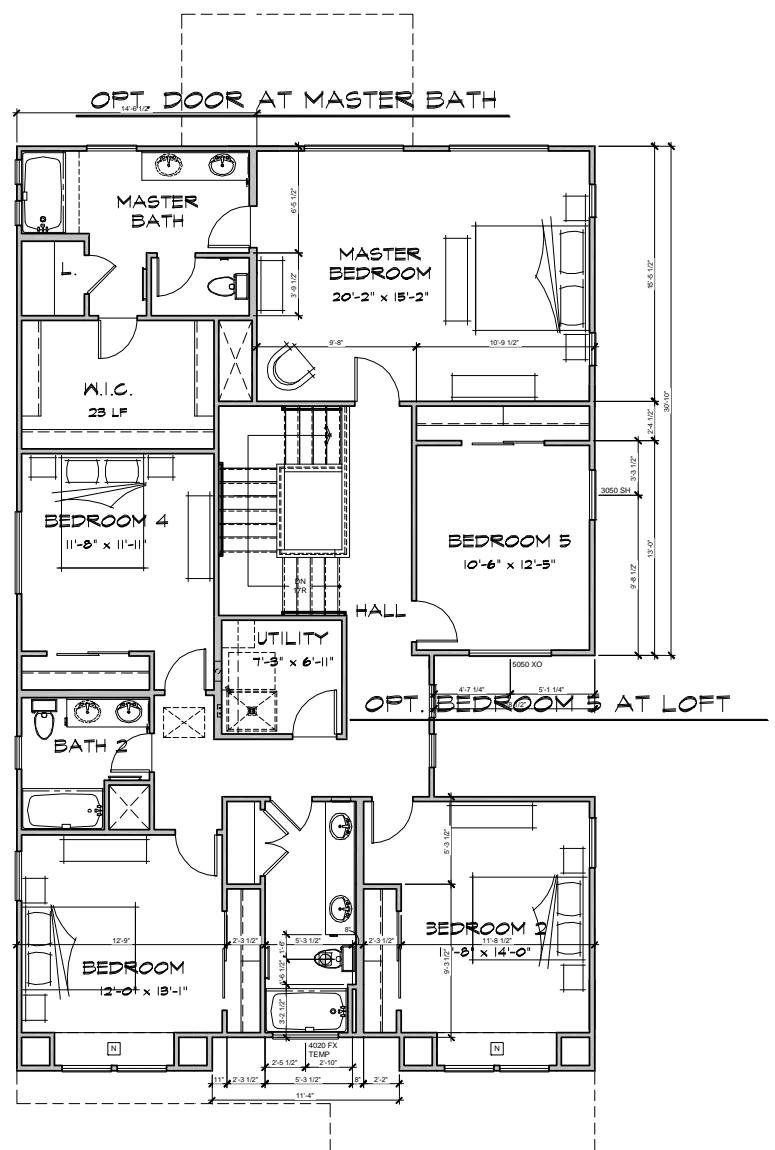
OPT. SHOWER AT MASTER BATH



OPT. OVAL TUB/SHOWER AT MASTER BATH



OPT. W.I. SHOWER AT MASTER BATH



**SECOND FLOOR PLAN OPTIONS**  
(ELEV. 'B' AND 'C' SIM.)

DATE: 7/9/2014

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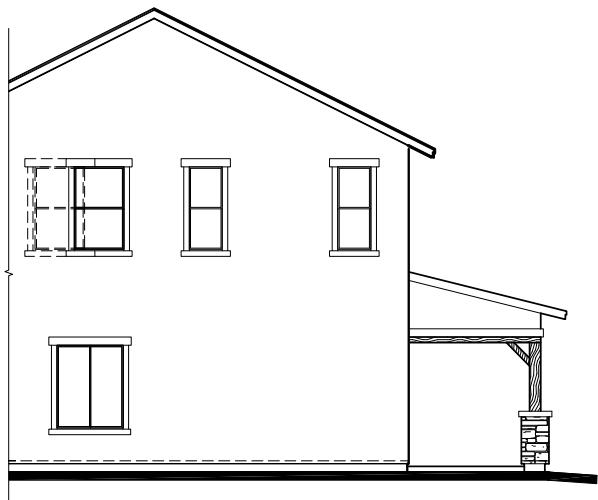
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PLAN 3536 FLOOR PLAN

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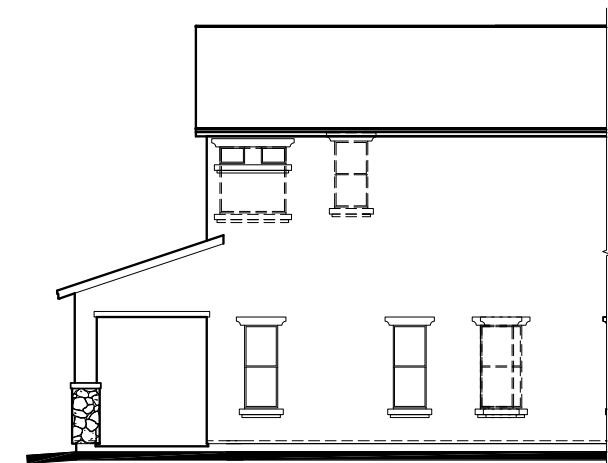
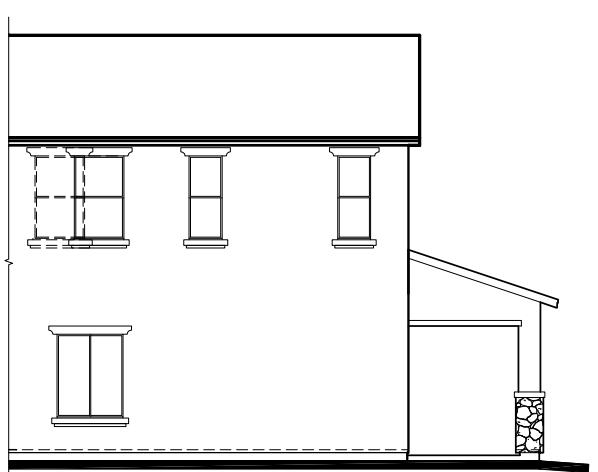
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RANCH ELEVATION

5/16" = 1'-0"



CRAFTSMAN ELEVATION

5/16" = 1'-0"



PRAIRIE ELEVATION

5/16" = 1'-0"

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PLAN 3536 OPTION ELEVATIONS  
OPTIONAL PATIO I

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morrison

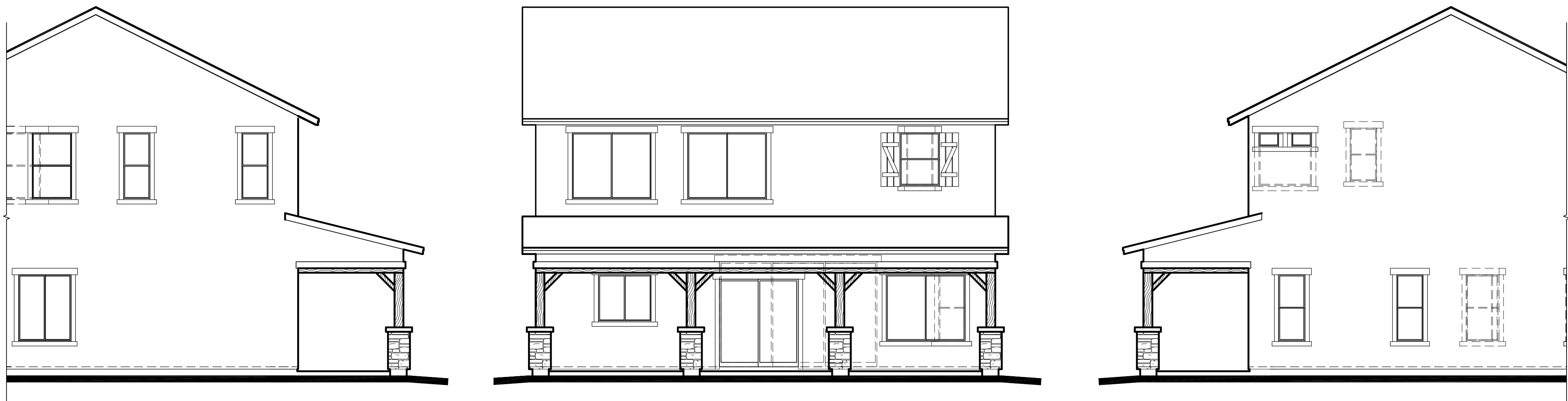
Homes Inspired by You



FELTEN GROUP

ENGINEERS • ARCHITECTS • DESIGNERS

"WHERE QUALITY DESIGN LEADS TO LOWER COST"



RANCH ELEVATION

3/16" = 1'-0"



CRAFTSMAN ELEVATION

3/16" = 1'-0"



PRAIRIE ELEVATION

3/16" = 1'-0"

DATE: 7/9/2014

taylor  
morrison

Homes Inspired by You



TAYLOR MORRISON 3500 SERIES  
PLAN 3536 OPTION ELEVATIONS  
OPTIONAL PATIO 2

FELTEN GROUP

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**Lot fit analysis for Elliot Groves**  
**Phase 2 - Parcel C**  
**Plan 3513**

**Building Setbacks**

Front Loaded Garage = 20' \*  
Side Loaded Garage = 10' \*  
Livable = 10' \*  
Side Yard = 5' & 10' (TOTAL OF 15')  
Rear Setback = 15'

\* Front yards to be staggered by 3' every third lot

**Zoning**

SF-D

**Special Condition Notes:**

1. Use and Benefit Easement
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4. Other Easement
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8. Other Notes

**Legend**

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 = Plan exceeds coverage

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LOT COVERAGE      60% (1-story)  
50% (2-story)

Revision Date:      7/15/2014  
8/8/2014

**LOT INFORMATION**

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 3513 - Elevation 'B'						Plan 3513 - Elevation 'C'						Plan 3513 - Elevation 'E'					
			Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,341 S.F.	Max. Footprint Coverage % 2,341 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,341 S.F.	Max. Footprint Coverage % 2,341 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,341 S.F.	Max. Footprint Coverage % 2,341 S.F.
69	3,4,7	7,138	Y	20'	5'/10'	20'	33%	33%	Y	20'	5'/10'	20'	33%	33%	Y	20'	5'/10'	20'	33%	33%
70	3	6,500	Y	20'	5'/10'	20'	36%	36%	Y	20'	5'/10'	20'	36%	36%	Y	20'	5'/10'	20'	36%	36%
71	3	6,479	Y	20'	5'/10'	20'	36%	36%	Y	20'	5'/10'	20'	36%	36%	Y	20'	5'/10'	20'	36%	36%
72	3	6,396	Y	20'	5'/10'	20'	37%	37%	Y	20'	5'/10'	20'	37%	37%	Y	20'	5'/10'	20'	37%	37%
73	3	6,249	Y	20'	5'/10'	20'	37%	37%	Y	20'	5'/10'	20'	37%	37%	Y	20'	5'/10'	20'	37%	37%
74	3	6,073	Y	20'	5'/10'	20'	39%	39%	Y	20'	5'/10'	20'	39%	39%	Y	20'	5'/10'	20'	39%	39%
75	3	5,932	Y	20'	5'/10'	20'	39%	39%	Y	20'	5'/10'	20'	39%	39%	Y	20'	5'/10'	20'	39%	39%
76	3	5,831	Y	20'	5'/10'	20'	40%	40%	Y	20'	5'/10'	20'	40%	40%	Y	20'	5'/10'	20'	40%	40%
77	3,4,7	5,770	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
78	3,4,7	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
79	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
80	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
81	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
82	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
83	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
84	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
85	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
86	3,4,7	6,313	Y	20'	5'/10'	20'	37%	37%	Y	20'	5'/10'	20'	37%	37%	Y	20'	5'/10'	20'	37%	37%
87	3,4,7	6,312	Y	20'	5'/10'	20'	37%	37%	Y	20'	5'/10'	20'	37%	37%	Y	20'	5'/10'	20'	37%	37%
88	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
89	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
90	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
91	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
92	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
93	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
94	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
95	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
96	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%

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Phase 2 - Parcel C

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97	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
98	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
99	3,4	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
100	3,4	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
101	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
102	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
103	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
104	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
105	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
106	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
107	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
108	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
109	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
110	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
111	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
112	3,4,7	6,312	Y	20'	5'/10'	20'	37%	37%	Y	20'	5'/10'	20'	37%	37%	Y	20'	5'/10'	20'	37%	37%
113	3,4,7	6,313	Y	20'	5'/10'	20'	37%	37%	Y	20'	5'/10'	20'	37%	37%	Y	20'	5'/10'	20'	37%	37%
114	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
115	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
116	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
117	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
118	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
119	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
120	3,4,7	5,738	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
121	3,4,7	5,735	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
122	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
123	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
124	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%

# Lot fit analysis for Elliot Groves

Phase 2 - Parcel C

**Plan 3513**

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			Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,341 S.F.	Max. Footprint Coverage % 2,341 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,341 S.F.	Max. Footprint Coverage % 2,341 S.F.						
125	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
126	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
127	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
128	3,4,7	6,312	Y	20'	5'/10'	20'	37%	37%	Y	20'	5'/10'	20'	37%	37%	Y	20'	5'/10'	20'	37%	37%
129	3,4,7	6,312	Y	20'	5'/10'	20'	37%	37%	Y	20'	5'/10'	20'	37%	37%	Y	20'	5'/10'	20'	37%	37%
130	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
131	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
132	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
133	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
134	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
135	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
136	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
137	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
138	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
139	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
140	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
141	3,4	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
142	3,4	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
143	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
144	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
145	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
146	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
147	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
148	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
149	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
150	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
151	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
152	3	5,750	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%

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153	3	5,750	Y	20'	5'10"	20'	41%	41%	Y	20'	5'10"	20'	41%	41%	Y	20'	5'10"	20'	41%	41%
154	3,4,7	6,313	Y	20'	5'10"	20'	37%	37%	Y	20'	5'10"	20'	37%	37%	Y	20'	5'10"	20'	37%	37%
155	3,4	6,325	Y	20'	5'10"	20'	37%	37%	Y	20'	5'10"	20'	37%	37%	Y	20'	5'10"	20'	37%	37%
156	3	5,750	Y	20'	5'10"	20'	41%	41%	Y	20'	5'10"	20'	41%	41%	Y	20'	5'10"	20'	41%	41%
157	3	5,750	Y	20'	5'10"	20'	41%	41%	Y	20'	5'10"	20'	41%	41%	Y	20'	5'10"	20'	41%	41%
158	3	5,750	Y	20'	5'10"	20'	41%	41%	Y	20'	5'10"	20'	41%	41%	Y	20'	5'10"	20'	41%	41%
159	3	5,750	Y	20'	5'10"	20'	41%	41%	Y	20'	5'10"	20'	41%	41%	Y	20'	5'10"	20'	41%	41%
160	3	5,750	Y	20'	5'10"	20'	41%	41%	Y	20'	5'10"	20'	41%	41%	Y	20'	5'10"	20'	41%	41%
161	3	5,750	Y	20'	5'10"	20'	41%	41%	Y	20'	5'10"	20'	41%	41%	Y	20'	5'10"	20'	41%	41%
162	3.4	5,750	Y	20'	5'10"	20'	41%	41%	Y	20'	5'10"	20'	41%	41%	Y	20'	5'10"	20'	41%	41%

# Lot fit analysis for Elliot Groves

Phase 2 - Parcel C

## Plan 3514

### Building Setbacks

Front Loaded Garage = 20' \*  
 Side Loaded Garage = 10' \*  
 Livable = 10' \*  
 Side Yard = 5' & 10' (TOTAL OF 15')  
 Rear Setback = 15'  
  
 \* Front yards to be staggered by 3' every third lot

### Zoning

SF-D

### Special Condition Notes:

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2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
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6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

### Legend

E = Plan fits Left or Right Drive  
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 E1/L1/R1 = Options can not be selected together

  = Plan exceeds coverage

  = Plan exceeds setback limits

LOT COVERAGE      60% (1-story)  
50% (2-story)

Revision Date:      7/15/2014  
8/8/2014

## LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 3514 - Elevation 'B'						Plan 3514 - Elevation 'C'						Plan 3514 - Elevation 'E'					
			Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 1,793 S.F.	Max. Footprint Coverage % 1,883 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 1,793 S.F.	Max. Footprint Coverage % 1,883 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 1,793 S.F.	Max. Footprint Coverage % 1,883 S.F.
69	3,4,7	7,138	Y	20'	5'/10'	20'	25%	26%	Y	20'	5'/10'	20'	25%	26%	Y	20'	5'/10'	20'	25%	26%
70	3	6,500	Y	20'	5'/10'	20'	28%	29%	Y	20'	5'/10'	20'	28%	29%	Y	20'	5'/10'	20'	28%	29%
71	3	6,479	Y	20'	5'/10'	20'	28%	29%	Y	20'	5'/10'	20'	28%	29%	Y	20'	5'/10'	20'	28%	29%
72	3	6,396	Y	20'	5'/10'	20'	28%	29%	Y	20'	5'/10'	20'	28%	29%	Y	20'	5'/10'	20'	28%	29%
73	3	6,249	Y	20'	5'/10'	20'	29%	30%	Y	20'	5'/10'	20'	29%	30%	Y	20'	5'/10'	20'	29%	30%
74	3	6,073	Y	20'	5'/10'	20'	30%	31%	Y	20'	5'/10'	20'	30%	31%	Y	20'	5'/10'	20'	30%	31%
75	3	5,932	Y	20'	5'/10'	20'	30%	32%	Y	20'	5'/10'	20'	30%	32%	Y	20'	5'/10'	20'	30%	32%
76	3	5,831	Y	20'	5'/10'	20'	31%	32%	Y	20'	5'/10'	20'	31%	32%	Y	20'	5'/10'	20'	31%	32%
77	3,4,7	5,770	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
78	3,4,7	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
79	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
80	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
81	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
82	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
83	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
84	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
85	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
86	3,4,7	6,313	Y	20'	5'/10'	20'	28%	30%	Y	20'	5'/10'	20'	28%	30%	Y	20'	5'/10'	20'	28%	30%
87	3,4,7	6,312	Y	20'	5'/10'	20'	28%	30%	Y	20'	5'/10'	20'	28%	30%	Y	20'	5'/10'	20'	28%	30%
88	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
89	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
90	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
91	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
92	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
93	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
94	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
95	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
96	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%

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Phase 2 - Parcel C

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97	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
98	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
99	3,4	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
100	3,4	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
101	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
102	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
103	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
104	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
105	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
106	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
107	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
108	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
109	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
110	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
111	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
112	3,4,7	6,312	Y	20'	5'/10'	20'	28%	30%	Y	20'	5'/10'	20'	28%	30%	Y	20'	5'/10'	20'	28%	30%
113	3,4,7	6,313	Y	20'	5'/10'	20'	28%	30%	Y	20'	5'/10'	20'	28%	30%	Y	20'	5'/10'	20'	28%	30%
114	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
115	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
116	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
117	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
118	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
119	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
120	3,4,7	5,738	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
121	3,4,7	5,735	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
122	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
123	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
124	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%

# Lot fit analysis for Elliot Groves

Phase 2 - Parcel C

**Plan 3514**

**Building Setbacks**

Front Loaded Garage = 20' \*  
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SF-D

**Special Condition Notes:**

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## LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 3514 - Elevation 'B'					Plan 3514 - Elevation 'C'					Plan 3514 - Elevation 'E'							
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125	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
126	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
127	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
128	3,4,7	6,312	Y	20'	5'/10'	20'	28%	30%	Y	20'	5'/10'	20'	28%	30%	Y	20'	5'/10'	20'	28%	30%
129	3,4,7	6,312	Y	20'	5'/10'	20'	28%	30%	Y	20'	5'/10'	20'	28%	30%	Y	20'	5'/10'	20'	28%	30%
130	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
131	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
132	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
133	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
134	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
135	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
136	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
137	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
138	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
139	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
140	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
141	3,4	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
142	3,4	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
143	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
144	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
145	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
146	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
147	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
148	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
149	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
150	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
151	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%
152	3	5,750	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%	Y	20'	5'/10'	20'	31%	33%

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8/8/2014

**LOT INFORMATION**

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 3514 - Elevation 'B'						Plan 3514 - Elevation 'C'						Plan 3514 - Elevation 'E'					
			Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 1,793 S.F.	Max. Footprint Coverage % 1,883 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 1,793 S.F.	Max. Footprint Coverage % 1,883 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 1,793 S.F.	Max. Footprint Coverage % 1,883 S.F.
153	3	5,750	Y	20'	5'10"	20'	31%	33%	Y	20'	5'10"	20'	31%	33%	Y	20'	5'10"	20'	31%	33%
154	3,4,7	6,313	Y	20'	5'10"	20'	28%	30%	Y	20'	5'10"	20'	28%	30%	Y	20'	5'10"	20'	28%	30%
155	3,4	6,325	Y	20'	5'10"	20'	28%	30%	Y	20'	5'10"	20'	28%	30%	Y	20'	5'10"	20'	28%	30%
156	3	5,750	Y	20'	5'10"	20'	31%	33%	Y	20'	5'10"	20'	31%	33%	Y	20'	5'10"	20'	31%	33%
157	3	5,750	Y	20'	5'10"	20'	31%	33%	Y	20'	5'10"	20'	31%	33%	Y	20'	5'10"	20'	31%	33%
158	3	5,750	Y	20'	5'10"	20'	31%	33%	Y	20'	5'10"	20'	31%	33%	Y	20'	5'10"	20'	31%	33%
159	3	5,750	Y	20'	5'10"	20'	31%	33%	Y	20'	5'10"	20'	31%	33%	Y	20'	5'10"	20'	31%	33%
160	3	5,750	Y	20'	5'10"	20'	31%	33%	Y	20'	5'10"	20'	31%	33%	Y	20'	5'10"	20'	31%	33%
161	3	5,750	Y	20'	5'10"	20'	31%	33%	Y	20'	5'10"	20'	31%	33%	Y	20'	5'10"	20'	31%	33%
162	3.4	5,750	Y	20'	5'10"	20'	31%	33%	Y	20'	5'10"	20'	31%	33%	Y	20'	5'10"	20'	31%	33%

# Lot fit analysis for Elliot Groves

Phase 2 - Parcel C

## Plan 3516

### Building Setbacks

Front Loaded Garage = 20' \*  
 Side Loaded Garage = 10' \*  
 Livable = 10' \*  
 Side Yard = 5' & 10' (TOTAL OF 15')  
 Rear Setback = 15'  
  
 \* Front yards to be staggered by 3' every third lot

### Zoning

SF-D

### Special Condition Notes:

1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Increased Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

### Legend

E = Plan fits Left or Right Drive  
 R = Plan fits Right Drive Only  
 L = Plan fits Left Drive Only  
 E1/L1/R1 = Options can not be selected together

  = Plan exceeds coverage

  = Plan exceeds setback limits

LOT COVERAGE      60% (1-story)  
50% (2-story)

Revision Date:      7/15/2014  
8/8/2014

## LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 3516 - Elevation 'A'					Plan 3516 - Elevation 'B'					Plan 3516 - Elevation 'C'							
			Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 1,932 S.F.	Max. Footprint Coverage % 2,116 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 1,948 S.F.	Max. Footprint Coverage % 2,132 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 1,980 S.F.	Max. Footprint Coverage % 2,164 S.F.
69	3,4,7	7,138	Y	20'	5'/10'	20'	27%	30%	Y	20'	5'/10'	20'	27%	30%	Y	20'	5'/10'	20'	28%	30%
70	3	6,500	Y	20'	5'/10'	20'	30%	33%	Y	20'	5'/10'	20'	30%	33%	Y	20'	5'/10'	20'	30%	33%
71	3	6,479	Y	20'	5'/10'	20'	30%	33%	Y	20'	5'/10'	20'	30%	33%	Y	20'	5'/10'	20'	31%	33%
72	3	6,396	Y	20'	5'/10'	20'	30%	33%	Y	20'	5'/10'	20'	30%	33%	Y	20'	5'/10'	20'	31%	34%
73	3	6,249	Y	20'	5'/10'	20'	31%	34%	Y	20'	5'/10'	20'	31%	34%	Y	20'	5'/10'	20'	32%	35%
74	3	6,073	Y	20'	5'/10'	20'	32%	35%	Y	20'	5'/10'	20'	32%	35%	Y	20'	5'/10'	20'	33%	36%
75	3	5,932	Y	20'	5'/10'	20'	33%	36%	Y	20'	5'/10'	20'	33%	36%	Y	20'	5'/10'	20'	33%	36%
76	3	5,831	Y	20'	5'/10'	20'	33%	36%	Y	20'	5'/10'	20'	33%	37%	Y	20'	5'/10'	20'	34%	37%
77	3,4,7	5,770	Y	20'	5'/10'	20'	33%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
78	3,4,7	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
79	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
80	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
81	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
82	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
83	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
84	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
85	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
86	3,4,7	6,313	Y	20'	5'/10'	20'	31%	34%	Y	20'	5'/10'	20'	31%	34%	Y	20'	5'/10'	20'	31%	34%
87	3,4,7	6,312	Y	20'	5'/10'	20'	31%	34%	Y	20'	5'/10'	20'	31%	34%	Y	20'	5'/10'	20'	31%	34%
88	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
89	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
90	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
91	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
92	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
93	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
94	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
95	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
96	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%

# Lot fit analysis for Elliot Groves

Phase 2 - Parcel C

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SF-D

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## LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 3516 - Elevation 'A'						Plan 3516 - Elevation 'B'						Plan 3516 - Elevation 'C'					
			Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 1,932 S.F.	Max. Footprint Coverage % 2,116 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 1,948 S.F.	Max. Footprint Coverage % 2,132 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 1,980 S.F.	Max. Footprint Coverage % 2,164 S.F.
97	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
98	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
99	3,4	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
100	3,4	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
101	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
102	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
103	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
104	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
105	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
106	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
107	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
108	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
109	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
110	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
111	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
112	3,4,7	6,312	Y	20'	5'/10'	20'	31%	34%	Y	20'	5'/10'	20'	31%	34%	Y	20'	5'/10'	20'	31%	34%
113	3,4,7	6,313	Y	20'	5'/10'	20'	31%	34%	Y	20'	5'/10'	20'	31%	34%	Y	20'	5'/10'	20'	31%	34%
114	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
115	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
116	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
117	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
118	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
119	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
120	3,4,7	5,738	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	35%	38%
121	3,4,7	5,735	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	35%	38%
122	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
123	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
124	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%

# Lot fit analysis for Elliot Groves

Phase 2 - Parcel C

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SF-D

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125	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
126	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
127	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
128	3,4,7	6,312	Y	20'	5'/10'	20'	31%	34%	Y	20'	5'/10'	20'	31%	34%	Y	20'	5'/10'	20'	31%	34%
129	3,4,7	6,312	Y	20'	5'/10'	20'	31%	34%	Y	20'	5'/10'	20'	31%	34%	Y	20'	5'/10'	20'	31%	34%
130	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
131	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
132	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
133	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
134	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
135	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
136	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
137	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
138	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
139	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
140	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
141	3,4	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
142	3,4	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
143	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
144	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
145	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
146	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
147	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
148	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
149	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
150	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
151	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%
152	3	5,750	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	38%

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SF-D

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1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Increased Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

**Legend**

E = Plan fits Left or Right Drive  
R = Plan fits Right Drive Only  
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E1/L1/R1 = Options can not be selected together

 = Plan exceeds coverage

 = Plan exceeds setback limits

LOT COVERAGE      60% (1-story)  
50% (2-story)

Revision Date:      7/15/2014  
8/8/2014

**LOT INFORMATION**

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 3516 - Elevation 'A'					Plan 3516 - Elevation 'B'					Plan 3516 - Elevation 'C'							
			Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 1,932 S.F.	Max. Footprint Coverage % 2,116 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 1,948 S.F.	Max. Footprint Coverage % 2,132 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 1,980 S.F.	Max. Footprint Coverage % 2,164 S.F.
153	3	5,750	Y	20'	5'10"	20'	34%	37%	Y	20'	5'10"	20'	34%	37%	Y	20'	5'10"	20'	34%	38%
154	3,4,7	6,313	Y	20'	5'10"	20'	31%	34%	Y	20'	5'10"	20'	31%	34%	Y	20'	5'10"	20'	31%	34%
155	3,4	6,325	Y	20'	5'10"	20'	31%	33%	Y	20'	5'10"	20'	31%	34%	Y	20'	5'10"	20'	31%	34%
156	3	5,750	Y	20'	5'10"	20'	34%	37%	Y	20'	5'10"	20'	34%	37%	Y	20'	5'10"	20'	34%	38%
157	3	5,750	Y	20'	5'10"	20'	34%	37%	Y	20'	5'10"	20'	34%	37%	Y	20'	5'10"	20'	34%	38%
158	3	5,750	Y	20'	5'10"	20'	34%	37%	Y	20'	5'10"	20'	34%	37%	Y	20'	5'10"	20'	34%	38%
159	3	5,750	Y	20'	5'10"	20'	34%	37%	Y	20'	5'10"	20'	34%	37%	Y	20'	5'10"	20'	34%	38%
160	3	5,750	Y	20'	5'10"	20'	34%	37%	Y	20'	5'10"	20'	34%	37%	Y	20'	5'10"	20'	34%	38%
161	3	5,750	Y	20'	5'10"	20'	34%	37%	Y	20'	5'10"	20'	34%	37%	Y	20'	5'10"	20'	34%	38%
162	3.4	5,750	Y	20'	5'10"	20'	34%	37%	Y	20'	5'10"	20'	34%	37%	Y	20'	5'10"	20'	34%	38%

# Lot fit analysis for Elliot Groves

Phase 2 - Parcel C

**Plan 3523**

**Building Setbacks**

Front Loaded Garage = 20' \*  
 Side Loaded Garage = 10' \*  
 Livable = 10' \*  
 Side Yard = 5' & 10' (TOTAL OF 15')  
 Rear Setback = 15'

\* Front yards to be staggered by 3' every third lot

**Zoning**

SF-D

**Special Condition Notes:**

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  = Plan exceeds coverage

  = Plan exceeds setback limits

LOT COVERAGE      60% (1-story)  
 50% (2-story)

Revision Date:      7/15/2014  
 8/8/2014

## LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 3523 - Elevation 'B'						Plan 3523 - Elevation 'C'						Plan 3523 - Elevation 'E'					
			Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,464 S.F.	Max. Footprint Coverage % 2,464 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,464 S.F.	Max. Footprint Coverage % 2,464 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,464 S.F.	Max. Footprint Coverage % 2,464 S.F.
69	3,4,7	7,138	Y	20'	5'/10'	20'	35%	35%	Y	20'	5'/10'	20'	35%	35%	Y	20'	5'/10'	20'	35%	35%
70	3	6,500	Y	20'	5'/10'	20'	38%	38%	Y	20'	5'/10'	20'	38%	38%	Y	20'	5'/10'	20'	38%	38%
71	3	6,479	Y	20'	5'/10'	20'	38%	38%	Y	20'	5'/10'	20'	38%	38%	Y	20'	5'/10'	20'	38%	38%
72	3	6,396	Y	20'	5'/10'	20'	39%	39%	Y	20'	5'/10'	20'	39%	39%	Y	20'	5'/10'	20'	39%	39%
73	3	6,249	Y	20'	5'/10'	20'	39%	39%	Y	20'	5'/10'	20'	39%	39%	Y	20'	5'/10'	20'	39%	39%
74	3	6,073	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
75	3	5,932	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
76	3	5,831	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
77	3,4,7	5,770	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
78	3,4,7	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
79	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
80	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
81	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
82	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
83	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
84	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
85	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
86	3,4,7	6,313	Y	20'	5'/10'	20'	39%	39%	Y	20'	5'/10'	20'	39%	39%	Y	20'	5'/10'	20'	39%	39%
87	3,4,7	6,312	Y	20'	5'/10'	20'	39%	39%	Y	20'	5'/10'	20'	39%	39%	Y	20'	5'/10'	20'	39%	39%
88	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
89	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
90	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
91	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
92	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
93	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
94	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
95	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
96	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%

# Lot fit analysis for Elliot Groves

Phase 2 - Parcel C

**Plan 3523**

## Building Setbacks

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## Zoning

SF-D

## Special Condition Notes:

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8/8/2014

## LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 3523 - Elevation 'B'						Plan 3523 - Elevation 'C'						Plan 3523 - Elevation 'E'					
			Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,464 S.F.	Max. Footprint Coverage % 2,464 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,464 S.F.	Max. Footprint Coverage % 2,464 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,464 S.F.	Max. Footprint Coverage % 2,464 S.F.
97	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
98	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
99	3,4	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
100	3,4	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
101	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
102	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
103	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
104	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
105	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
106	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
107	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
108	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
109	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
110	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
111	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
112	3,4,7	6,312	Y	20'	5'/10'	20'	39%	39%	Y	20'	5'/10'	20'	39%	39%	Y	20'	5'/10'	20'	39%	39%
113	3,4,7	6,313	Y	20'	5'/10'	20'	39%	39%	Y	20'	5'/10'	20'	39%	39%	Y	20'	5'/10'	20'	39%	39%
114	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
115	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
116	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
117	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
118	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
119	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
120	3,4,7	5,738	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
121	3,4,7	5,735	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
122	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
123	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
124	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%

# Lot fit analysis for Elliot Groves

Phase 2 - Parcel C

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8/8/2014

## LOT INFORMATION

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125	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
126	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
127	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
128	3,4,7	6,312	Y	20'	5'/10'	20'	39%	39%	Y	20'	5'/10'	20'	39%	39%	Y	20'	5'/10'	20'	39%	39%
129	3,4,7	6,312	Y	20'	5'/10'	20'	39%	39%	Y	20'	5'/10'	20'	39%	39%	Y	20'	5'/10'	20'	39%	39%
130	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
131	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
132	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
133	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
134	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
135	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
136	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
137	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
138	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
139	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
140	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
141	3,4	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
142	3,4	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
143	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
144	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
145	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
146	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
147	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
148	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
149	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
150	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
151	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%
152	3	5,750	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%	Y	20'	5'/10'	20'	43%	43%

**Lot fit analysis for Elliot Groves**  
**Phase 2 - Parcel C**  
**Plan 3523**

**Building Setbacks**

Front Loaded Garage = 20' \*  
Side Loaded Garage = 10' \*  
Livable = 10' \*  
Side Yard = 5' & 10' (TOTAL OF 15')  
Rear Setback = 15'

\* Front yards to be staggered by 3' every third lot

**Zoning**

SF-D

**Special Condition Notes:**

1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Increased Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

**Legend**

E = Plan fits Left or Right Drive  
R = Plan fits Right Drive Only  
L = Plan fits Left Drive Only  
E1/L1/R1 = Options can not be selected together

 = Plan exceeds coverage

 = Plan exceeds setback limits

LOT COVERAGE      60% (1-story)  
50% (2-story)

Revision Date:      7/15/2014  
8/8/2014

**LOT INFORMATION**

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 3523 - Elevation 'B'						Plan 3523 - Elevation 'C'						Plan 3523 - Elevation 'E'					
			Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,464 S.F.	Max. Footprint Coverage % 2,464 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,464 S.F.	Max. Footprint Coverage % 2,464 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,464 S.F.	Max. Footprint Coverage % 2,464 S.F.
153	3	5,750	Y	20'	5'10"	20'	43%	43%	Y	20'	5'10"	20'	43%	43%	Y	20'	5'10"	20'	43%	43%
154	3,4,7	6,313	Y	20'	5'10"	20'	39%	39%	Y	20'	5'10"	20'	39%	39%	Y	20'	5'10"	20'	39%	39%
155	3,4	6,325	Y	20'	5'10"	20'	39%	39%	Y	20'	5'10"	20'	39%	39%	Y	20'	5'10"	20'	39%	39%
156	3	5,750	Y	20'	5'10"	20'	43%	43%	Y	20'	5'10"	20'	43%	43%	Y	20'	5'10"	20'	43%	43%
157	3	5,750	Y	20'	5'10"	20'	43%	43%	Y	20'	5'10"	20'	43%	43%	Y	20'	5'10"	20'	43%	43%
158	3	5,750	Y	20'	5'10"	20'	43%	43%	Y	20'	5'10"	20'	43%	43%	Y	20'	5'10"	20'	43%	43%
159	3	5,750	Y	20'	5'10"	20'	43%	43%	Y	20'	5'10"	20'	43%	43%	Y	20'	5'10"	20'	43%	43%
160	3	5,750	Y	20'	5'10"	20'	43%	43%	Y	20'	5'10"	20'	43%	43%	Y	20'	5'10"	20'	43%	43%
161	3	5,750	Y	20'	5'10"	20'	43%	43%	Y	20'	5'10"	20'	43%	43%	Y	20'	5'10"	20'	43%	43%
162	3.4	5,750	Y	20'	5'10"	20'	43%	43%	Y	20'	5'10"	20'	43%	43%	Y	20'	5'10"	20'	43%	43%

# Lot fit analysis for Elliot Groves

Phase 2 - Parcel C

## Plan 3526

### Building Setbacks

Front Loaded Garage = 20' \*  
 Side Loaded Garage = 10' \*  
 Livable = 10' \*  
 Side Yard = 5' & 10' (TOTAL OF 15')  
 Rear Setback = 15'  
  
 \* Front yards to be staggered by 3' every third lot

### Zoning

SF-D

### Special Condition Notes:

1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Increased Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

### Legend

E = Plan fits Left or Right Drive  
 R = Plan fits Right Drive Only  
 L = Plan fits Left Drive Only  
 E1/L1/R1 = Options can not be selected together

= Plan exceeds coverage

= Plan exceeds setback limits

LOT COVERAGE      60% (1-story)  
50% (2-story)

Revision Date:      7/15/2014  
8/8/2014

## LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 3526 - Elevation 'A'						Plan 3526 - Elevation 'B'						Plan 3526 - Elevation 'C'					
			Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,409 S.F.	Max. Footprint Coverage % 2,409 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,409 S.F.	Max. Footprint Coverage % 2,409 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,410 S.F.	Max. Footprint Coverage % 2,410 S.F.
69	3,4,7	7,138	Y	20'	5'/10'	20'	34%	34%	Y	20'	5'/10'	20'	34%	34%	Y	20'	5'/10'	20'	34%	34%
70	3	6,500	Y	20'	5'/10'	20'	37%	37%	Y	20'	5'/10'	20'	37%	37%	Y	20'	5'/10'	20'	37%	37%
71	3	6,479	Y	20'	5'/10'	20'	37%	37%	Y	20'	5'/10'	20'	37%	37%	Y	20'	5'/10'	20'	37%	37%
72	3	6,396	Y	20'	5'/10'	20'	38%	38%	Y	20'	5'/10'	20'	38%	38%	Y	20'	5'/10'	20'	38%	38%
73	3	6,249	Y	20'	5'/10'	20'	39%	39%	Y	20'	5'/10'	20'	39%	39%	Y	20'	5'/10'	20'	39%	39%
74	3	6,073	Y	20'	5'/10'	20'	40%	40%	Y	20'	5'/10'	20'	40%	40%	Y	20'	5'/10'	20'	40%	40%
75	3	5,932	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
76	3	5,831	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%	Y	20'	5'/10'	20'	41%	41%
77	3,4,7	5,770	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
78	3,4,7	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
79	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
80	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
81	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
82	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
83	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
84	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
85	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
86	3,4,7	6,313	Y	20'	5'/10'	20'	38%	38%	Y	20'	5'/10'	20'	38%	38%	Y	20'	5'/10'	20'	38%	38%
87	3,4,7	6,312	Y	20'	5'/10'	20'	38%	38%	Y	20'	5'/10'	20'	38%	38%	Y	20'	5'/10'	20'	38%	38%
88	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
89	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
90	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
91	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
92	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
93	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
94	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
95	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
96	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%

# Lot fit analysis for Elliot Groves

Phase 2 - Parcel C

## Plan 3526

### Building Setbacks

Front Loaded Garage = 20' \*  
 Side Loaded Garage = 10' \*  
 Livable = 10' \*  
 Side Yard = 5' & 10' (TOTAL OF 15')  
 Rear Setback = 15'

\* Front yards to be staggered by 3' every third lot

### Zoning

SF-D

### Special Condition Notes:

1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Increased Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

### Legend

E = Plan fits Left or Right Drive  
 R = Plan fits Right Drive Only  
 L = Plan fits Left Drive Only  
 E1/L1/R1 = Options can not be selected together

  = Plan exceeds coverage

  = Plan exceeds setback limits

LOT COVERAGE      60% (1-story)  
50% (2-story)

Revision Date:      7/15/2014  
8/8/2014

## LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 3526 - Elevation 'A'						Plan 3526 - Elevation 'B'						Plan 3526 - Elevation 'C'					
			Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,409 S.F.	Max. Footprint Coverage % 2,409 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,409 S.F.	Max. Footprint Coverage % 2,409 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,410 S.F.	Max. Footprint Coverage % 2,410 S.F.
97	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
98	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
99	3,4	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
100	3,4	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
101	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
102	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
103	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
104	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
105	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
106	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
107	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
108	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
109	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
110	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
111	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
112	3,4,7	6,312	Y	20'	5'/10'	20'	38%	38%	Y	20'	5'/10'	20'	38%	38%	Y	20'	5'/10'	20'	38%	38%
113	3,4,7	6,313	Y	20'	5'/10'	20'	38%	38%	Y	20'	5'/10'	20'	38%	38%	Y	20'	5'/10'	20'	38%	38%
114	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
115	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
116	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
117	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
118	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
119	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
120	3,4,7	5,738	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
121	3,4,7	5,735	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
122	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
123	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
124	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%

# Lot fit analysis for Elliot Groves

Phase 2 - Parcel C

## Plan 3526

### Building Setbacks

Front Loaded Garage = 20' \*  
 Side Loaded Garage = 10' \*  
 Livable = 10' \*  
 Side Yard = 5' & 10' (TOTAL OF 15')  
 Rear Setback = 15'  
  
 \* Front yards to be staggered by 3' every third lot

### Zoning

SF-D

### Special Condition Notes:

1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Increased Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
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8. Other Notes

### Legend

E = Plan fits Left or Right Drive  
 R = Plan fits Right Drive Only  
 L = Plan fits Left Drive Only  
 E1/L1/R1 = Options can not be selected together

  = Plan exceeds coverage

  = Plan exceeds setback limits

LOT COVERAGE      60% (1-story)  
50% (2-story)

Revision Date:      7/15/2014  
8/8/2014

## LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 3526 - Elevation 'A'						Plan 3526 - Elevation 'B'						Plan 3526 - Elevation 'C'					
			Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,409 S.F.	Max. Footprint Coverage % 2,409 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,409 S.F.	Max. Footprint Coverage % 2,409 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,410 S.F.	Max. Footprint Coverage % 2,410 S.F.
125	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
126	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
127	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
128	3,4,7	6,312	Y	20'	5'/10'	20'	38%	38%	Y	20'	5'/10'	20'	38%	38%	Y	20'	5'/10'	20'	38%	38%
129	3,4,7	6,312	Y	20'	5'/10'	20'	38%	38%	Y	20'	5'/10'	20'	38%	38%	Y	20'	5'/10'	20'	38%	38%
130	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
131	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
132	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
133	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
134	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
135	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
136	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
137	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
138	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
139	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
140	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
141	3,4	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
142	3,4	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
143	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
144	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
145	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
146	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
147	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
148	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
149	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
150	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
151	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%
152	3	5,750	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%	Y	20'	5'/10'	20'	42%	42%

# Lot fit analysis for Elliot Groves

Phase 2 - Parcel C

## Plan 3526

### Building Setbacks

Front Loaded Garage = 20' \*  
 Side Loaded Garage = 10' \*  
 Livable = 10' \*  
 Side Yard = 5' & 10' (TOTAL OF 15')  
 Rear Setback = 15'  
  
 \* Front yards to be staggered by 3' every third lot

### Zoning

SF-D

### Special Condition Notes:

1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Increased Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

### Legend

E = Plan fits Left or Right Drive  
 R = Plan fits Right Drive Only  
 L = Plan fits Left Drive Only  
 E1/L1/R1 = Options can not be selected together

  = Plan exceeds coverage

  = Plan exceeds setback limits

LOT COVERAGE      60% (1-story)  
50% (2-story)

Revision Date:      7/15/2014  
8/8/2014

### LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 3526 - Elevation 'A'						Plan 3526 - Elevation 'B'						Plan 3526 - Elevation 'C'					
			Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,409 S.F.	Max. Footprint Coverage % 2,409 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,409 S.F.	Max. Footprint Coverage % 2,409 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,410 S.F.	Max. Footprint Coverage % 2,410 S.F.
153	3	5,750	Y	20'	5'10"	20'	42%	42%	Y	20'	5'10"	20'	42%	42%	Y	20'	5'10"	20'	42%	42%
154	3,4,7	6,313	Y	20'	5'10"	20'	38%	38%	Y	20'	5'10"	20'	38%	38%	Y	20'	5'10"	20'	38%	38%
155	3,4	6,325	Y	20'	5'10"	20'	38%	38%	Y	20'	5'10"	20'	38%	38%	Y	20'	5'10"	20'	38%	38%
156	3	5,750	Y	20'	5'10"	20'	42%	42%	Y	20'	5'10"	20'	42%	42%	Y	20'	5'10"	20'	42%	42%
157	3	5,750	Y	20'	5'10"	20'	42%	42%	Y	20'	5'10"	20'	42%	42%	Y	20'	5'10"	20'	42%	42%
158	3	5,750	Y	20'	5'10"	20'	42%	42%	Y	20'	5'10"	20'	42%	42%	Y	20'	5'10"	20'	42%	42%
159	3	5,750	Y	20'	5'10"	20'	42%	42%	Y	20'	5'10"	20'	42%	42%	Y	20'	5'10"	20'	42%	42%
160	3	5,750	Y	20'	5'10"	20'	42%	42%	Y	20'	5'10"	20'	42%	42%	Y	20'	5'10"	20'	42%	42%
161	3	5,750	Y	20'	5'10"	20'	42%	42%	Y	20'	5'10"	20'	42%	42%	Y	20'	5'10"	20'	42%	42%
162	3.4	5,750	Y	20'	5'10"	20'	42%	42%	Y	20'	5'10"	20'	42%	42%	Y	20'	5'10"	20'	42%	42%

# Lot fit analysis for Elliot Groves

Phase 2 - Parcel C

## Plan 3536

### Building Setbacks

Front Loaded Garage = 20' \*  
 Side Loaded Garage = 10' \*  
 Livable = 10' \*  
 Side Yard = 5' & 10' (TOTAL OF 15')  
 Rear Setback = 15'  
  
 \* Front yards to be staggered by 3' every third lot

### Zoning

SF-D

### Special Condition Notes:

1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Increased Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

### Legend

E = Plan fits Left or Right Drive  
 R = Plan fits Right Drive Only  
 L = Plan fits Left Drive Only  
 E1/L1/R1 = Options can not be selected together

  = Plan exceeds coverage

  = Plan exceeds setback limits

LOT COVERAGE      60% (1-story)  
50% (2-story)

Revision Date:      7/15/2014  
8/8/2014

## LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 3536 - Elevation 'A'						Plan 3536 - Elevation 'B'						Plan 3536 - Elevation 'C'					
			Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,254 S.F.	Max. Footprint Coverage % 2,422 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,232 S.F.	Max. Footprint Coverage % 2,400 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,230 S.F.	Max. Footprint Coverage % 2,398 S.F.
69	3,4,7	7,138	Y	20'	5'/10'	20'	32%	34%	Y	20'	5'/10'	20'	31%	34%	Y	20'	5'/10'	20'	31%	34%
70	3	6,500	Y	20'	5'/10'	20'	35%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%
71	3	6,479	Y	20'	5'/10'	20'	35%	37%	Y	20'	5'/10'	20'	34%	37%	Y	20'	5'/10'	20'	34%	37%
72	3	6,396	Y	20'	5'/10'	20'	35%	38%	Y	20'	5'/10'	20'	35%	38%	Y	20'	5'/10'	20'	35%	37%
73	3	6,249	Y	20'	5'/10'	20'	36%	39%	Y	20'	5'/10'	20'	36%	38%	Y	20'	5'/10'	20'	36%	38%
74	3	6,073	Y	20'	5'/10'	20'	37%	40%	Y	20'	5'/10'	20'	37%	40%	Y	20'	5'/10'	20'	37%	39%
75	3	5,932	Y	20'	5'/10'	20'	38%	41%	Y	20'	5'/10'	20'	38%	40%	Y	20'	5'/10'	20'	38%	40%
76	3	5,831	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	38%	41%	Y	20'	5'/10'	20'	38%	41%
77	3,4,7	5,770	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
78	3,4,7	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
79	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
80	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
81	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
82	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
83	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
84	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
85	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
86	3,4,7	6,313	Y	20'	5'/10'	20'	36%	38%	Y	20'	5'/10'	20'	35%	38%	Y	20'	5'/10'	20'	35%	38%
87	3,4,7	6,312	Y	20'	5'/10'	20'	36%	38%	Y	20'	5'/10'	20'	35%	38%	Y	20'	5'/10'	20'	35%	38%
88	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
89	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
90	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
91	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
92	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
93	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
94	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
95	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
96	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%

# Lot fit analysis for Elliot Groves

Phase 2 - Parcel C

## Plan 3536

### Building Setbacks

Front Loaded Garage = 20' \*  
 Side Loaded Garage = 10' \*  
 Livable = 10' \*  
 Side Yard = 5' & 10' (TOTAL OF 15')  
 Rear Setback = 15'  
  
 \* Front yards to be staggered by 3' every third lot

### Zoning

SF-D

### Special Condition Notes:

1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Increased Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

### Legend

E = Plan fits Left or Right Drive  
 R = Plan fits Right Drive Only  
 L = Plan fits Left Drive Only  
 E1/L1/R1 = Options can not be selected together

  = Plan exceeds coverage

  = Plan exceeds setback limits

LOT COVERAGE      60% (1-story)  
50% (2-story)

Revision Date:      7/15/2014  
8/8/2014

## LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 3536 - Elevation 'A'						Plan 3536 - Elevation 'B'						Plan 3536 - Elevation 'C'					
			Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,254 S.F.	Max. Footprint Coverage % 2,422 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,232 S.F.	Max. Footprint Coverage % 2,400 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,230 S.F.	Max. Footprint Coverage % 2,398 S.F.
97	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
98	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
99	3,4	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
100	3,4	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
101	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
102	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
103	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
104	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
105	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
106	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
107	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
108	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
109	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
110	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
111	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
112	3,4,7	6,312	Y	20'	5'/10'	20'	36%	38%	Y	20'	5'/10'	20'	35%	38%	Y	20'	5'/10'	20'	35%	38%
113	3,4,7	6,313	Y	20'	5'/10'	20'	36%	38%	Y	20'	5'/10'	20'	35%	38%	Y	20'	5'/10'	20'	35%	38%
114	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
115	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
116	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
117	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
118	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
119	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
120	3,4,7	5,738	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
121	3,4,7	5,735	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
122	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
123	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
124	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%

# Lot fit analysis for Elliot Groves

Phase 2 - Parcel C

**Plan 3536**

## Building Setbacks

Front Loaded Garage = 20' \*  
 Side Loaded Garage = 10' \*  
 Livable = 10' \*  
 Side Yard = 5' & 10' (TOTAL OF 15')  
 Rear Setback = 15'  
  
 \* Front yards to be staggered by 3' every third lot

## Zoning

SF-D

## Special Condition Notes:

1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Increased Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

## Legend

E = Plan fits Left or Right Drive  
 R = Plan fits Right Drive Only  
 L = Plan fits Left Drive Only  
 E1/L1/R1 = Options can not be selected together

  = Plan exceeds coverage

  = Plan exceeds setback limits

LOT COVERAGE      60% (1-story)  
50% (2-story)

Revision Date:      7/15/2014  
8/8/2014

## LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 3536 - Elevation 'A'						Plan 3536 - Elevation 'B'						Plan 3536 - Elevation 'C'					
			Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,254 S.F.	Max. Footprint Coverage % 2,422 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,232 S.F.	Max. Footprint Coverage % 2,400 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,230 S.F.	Max. Footprint Coverage % 2,398 S.F.
125	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
126	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
127	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
128	3,4,7	6,312	Y	20'	5'/10'	20'	36%	38%	Y	20'	5'/10'	20'	35%	38%	Y	20'	5'/10'	20'	35%	38%
129	3,4,7	6,312	Y	20'	5'/10'	20'	36%	38%	Y	20'	5'/10'	20'	35%	38%	Y	20'	5'/10'	20'	35%	38%
130	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
131	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
132	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
133	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
134	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
135	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
136	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
137	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
138	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
139	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
140	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
141	3,4	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
142	3,4	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
143	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
144	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
145	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
146	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
147	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
148	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
149	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
150	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
151	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%
152	3	5,750	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%	Y	20'	5'/10'	20'	39%	42%

**Lot fit analysis for Elliot Groves**  
**Phase 2 - Parcel C**  
**Plan 3536**

**Building Setbacks**

Front Loaded Garage = 20' \*  
Side Loaded Garage = 10' \*  
Livable = 10' \*  
Side Yard = 5' & 10' (TOTAL OF 15')  
Rear Setback = 15'

\* Front yards to be staggered by 3' every third lot

**Zoning**

SF-D

**Special Condition Notes:**

1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Increased Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

**Legend**

E = Plan fits Left or Right Drive  
R = Plan fits Right Drive Only  
L = Plan fits Left Drive Only  
E1/L1/R1 = Options can not be selected together

 = Plan exceeds coverage

 = Plan exceeds setback limits

LOT COVERAGE      60% (1-story)  
50% (2-story)

Revision Date:      7/15/2014  
8/8/2014

**LOT INFORMATION**

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 3536 - Elevation 'A'						Plan 3536 - Elevation 'B'						Plan 3536 - Elevation 'C'					
			Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,254 S.F.	Max. Footprint Coverage % 2,422 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,232 S.F.	Max. Footprint Coverage % 2,400 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,230 S.F.	Max. Footprint Coverage % 2,398 S.F.
153	3	5,750	Y	20'	5'10"	20'	39%	42%	Y	20'	5'10"	20'	39%	42%	Y	20'	5'10"	20'	39%	42%
154	3,4,7	6,313	Y	20'	5'10"	20'	36%	38%	Y	20'	5'10"	20'	35%	38%	Y	20'	5'10"	20'	35%	38%
155	3,4	6,325	Y	20'	5'10"	20'	36%	38%	Y	20'	5'10"	20'	35%	38%	Y	20'	5'10"	20'	35%	38%
156	3	5,750	Y	20'	5'10"	20'	39%	42%	Y	20'	5'10"	20'	39%	42%	Y	20'	5'10"	20'	39%	42%
157	3	5,750	Y	20'	5'10"	20'	39%	42%	Y	20'	5'10"	20'	39%	42%	Y	20'	5'10"	20'	39%	42%
158	3	5,750	Y	20'	5'10"	20'	39%	42%	Y	20'	5'10"	20'	39%	42%	Y	20'	5'10"	20'	39%	42%
159	3	5,750	Y	20'	5'10"	20'	39%	42%	Y	20'	5'10"	20'	39%	42%	Y	20'	5'10"	20'	39%	42%
160	3	5,750	Y	20'	5'10"	20'	39%	42%	Y	20'	5'10"	20'	39%	42%	Y	20'	5'10"	20'	39%	42%
161	3	5,750	Y	20'	5'10"	20'	39%	42%	Y	20'	5'10"	20'	39%	42%	Y	20'	5'10"	20'	39%	42%
162	3.4	5,750	Y	20'	5'10"	20'	39%	42%	Y	20'	5'10"	20'	39%	42%	Y	20'	5'10"	20'	39%	42%



**Elliot Groves Color Schemes**

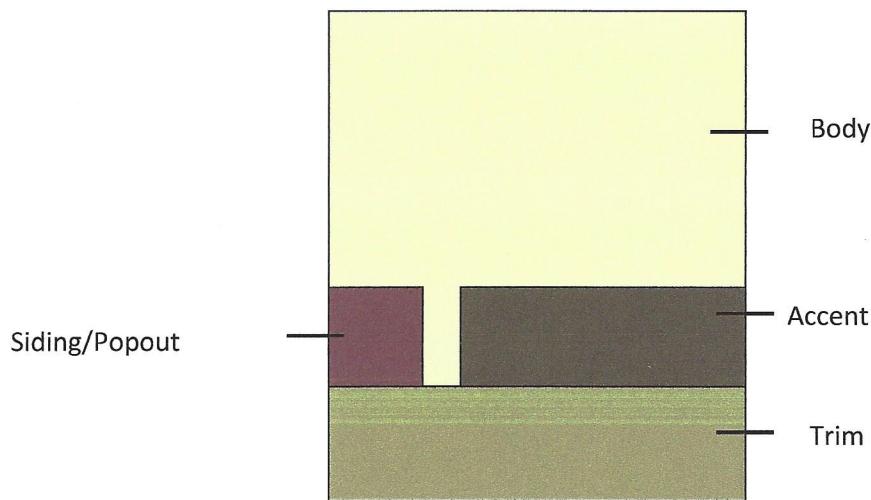
<b>Ranch Elevation B</b>			
	<b>LV10</b>	<b>LV11</b>	<b>LV12</b>
Body	Eiffel Tower PPG1022-5	Apple Brown Betty PPG1062-6	Cool Concrete PPG1007-6
Trim	Silver Dollar PPG1022-3	Hat Box Brown PPG1085-6	Diversion PPG1021-4
Accent	Suede Leather PPG1072-6	Sautéed Mushrooms PPG1085-5	Improbable PPG1011-5
Roof Tile	4502 Flat	5549 Flat	5687 Flat
Stone	Tuscan Ledge Chablis	Chisel Rock Chablis	Bordeaux Blend Chisel Rock

<b>Craftsman Elevation C</b>			
	<b>LV1</b>	<b>LV2</b>	<b>LV3</b>
Body	Improbable PPG1011-5	Prairie Dust PPG1102-4	White Rock PPG1104-1
Siding/Trim	Cool Concrete PPG1023-2	Crushed Silk PPG1024-3	Distant Valley PPG11-19
Door/Popouts	Diversion PPG1021-4	Suede Leather 1072-6	Pumpernickel PPG15-22
Beadboard	Diversion PPG1021-4	Suede Leather 1072-6	Pumpernickel PPG15-22
Roof Tile	5549 Flat	5502 Flat	5549 Flat
Stone	ESW River Rock- Creek Side	ESW River Rock- Aspen Blend	ESW River Rock- Aspen Blend

<b>Prairie Elevation E</b>			
	<b>LV7</b>	<b>LV8</b>	<b>LV9</b>
Prairie Elevation E	Raspberry Truffle PPG1060-6	Antique White PPG1024-2	Steeple Gray PPG1012-5
Trim	Confidence PPG1078-5	Rattan Palm PPG1027-5	Gray Frost PPG1012-4
Accent	Kangaroo PPG1078-4	Prairie Fire PPG1071-6	Patches 1024-6
Roof Tile	5687 Flat	5502 Flat	5502 Flat
Brick	Old Town Tumbled Brick	Old Town Tumbled Brick	Grey Drift Thin Brick

**Eagle Roof Tile**

## Exterior Schemes Layout



# Elliot Groves

taylor  
morrison  
*Homes Inspired by You* 

Scheme # 1

LV10 Ranch

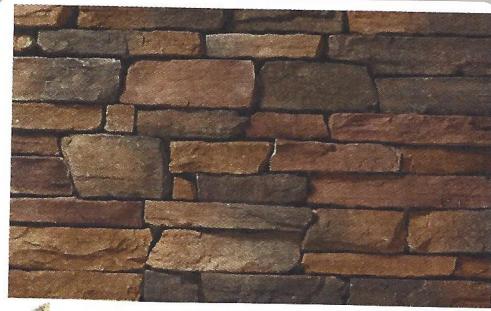
Body: PPG1022-5 Eiffel Tower  
Trim: PPG1022-3 Silver Dollar  
Accent: PPG1072-6 Suede Leather  
Roof Tile: 4502 Flat  
Stone: Tuscan Ledge Chablis



HOME  
VANTAGE  
HOMESCAPE PARTNER PROGRAM



Bel Air – 4502, Arcadia



ENVIRONMENTAL  
STONWORKS. Tuscan Ledge

Chablis

# Elliot Groves



Scheme # 2

LV11 Ranch

Body: PPG1062-6 Apple Brown Betty  
Trim: PPG1085-6 Hat Box Brown  
Accent: PPG1085-5 Sauteed Mushroom  
Roof Tile: 5549 Flat  
Stone: Chisel Rock Chablis



HOMES INSPIRED BY YOU. PPG.COM/VANTAGE



Ponderosa – 5549, Santa Paula



Chablis  
STONEWORKS Chisel Rock

# Elliot Groves

taylor  
morrison  
*Homes Inspired by You* 

Scheme # 3

LV12 Ranch

BODY PPG1007-6 COOL CONCRETE



TRIM PPG1021-4 DIVERSION

  
HOME VANTAGE  
HOME OF THE HOMESTEAD

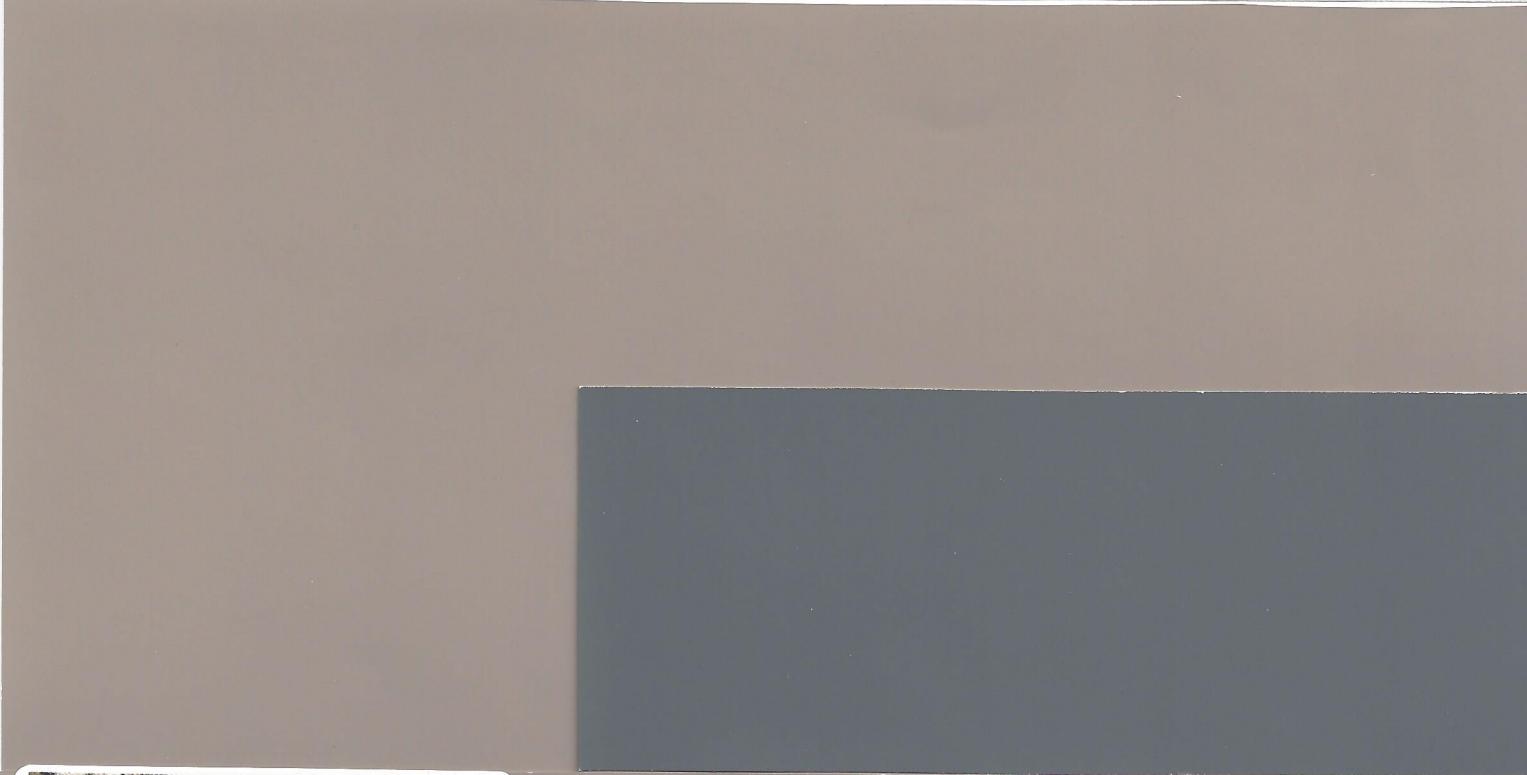
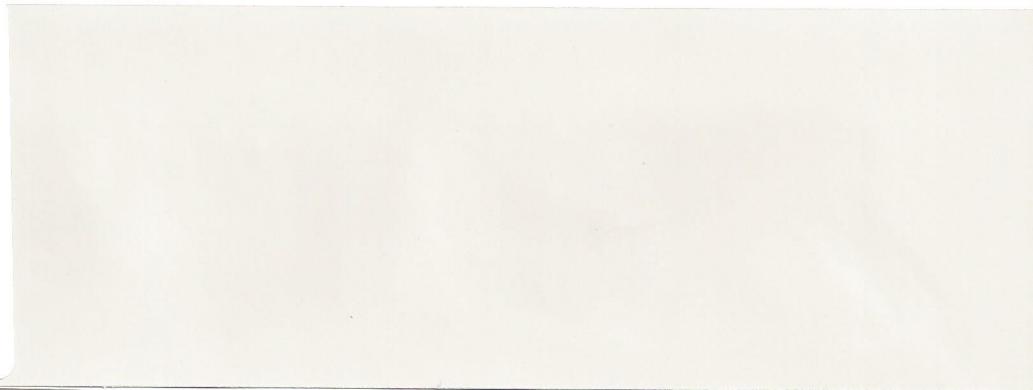
ACCENT PPG1011-5 IMPROBABLE

ROOF TILE 5687 FLAT

BORDEAUX BLEND CHISEL ROCK



Ponderosa - 5687, Brown Gray Range



ENVIRONMENTAL  
STONWORKS.  
Bordeaux Blend  
Chisel Rock

# Elliot Groves



Scheme # 1

LV1 Craftsman

BODY IMPROBABLE PPG1011-5



SIDING/TRIM COOL CONCRETE PPG1023-2



DOOR/POPOUTS DIVERSION PPG1021-4

BEADBOARD DIVERSION PPG1021-4

ROOF TILE 5549 FLAT

ESW RIVER ROCK CREEK SIDE



Ponderosa – 5549, Santa Paula



ENVIRONMENTAL  
**STONEWORKS** Creekside  
River Rock



# Elliot Groves



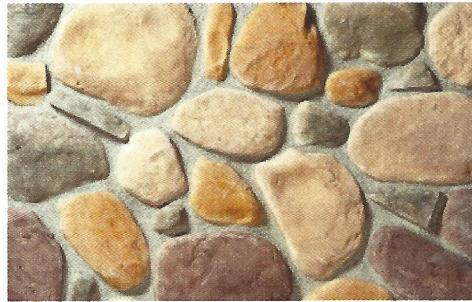
Scheme # 2

LV2 Craftsman

Body: PPG1102-4 Prairie Dust  
Siding/Trim: PPG1024-3 Crushed Silk  
Door/Popouts: PPG1072-6 Suede Leather  
Beadboard: PPG1072-6 Suede Leather  
Roof Tile: 5502 Flat  
Stone: ESW River Rock-Aspen Blend



Ponderosa - 5502, Arcadia



ENVIRONMENTAL STONeworks Aspen Blend  
River Rock

# Elliot Groves



Scheme # 3

LV3 Craftsman

BODY: PPG1104-1 WHITE ROCK



SIDING/TRIM: PPG11-19 DISTANT VALLEY



DOOR/POPOUTS: PPG15-22 PUMPERNICKEL

BEADBOARD: PPG15-22 PUMPERNICKEL

ROOF TILE: 5549 FLAT

STONE: ESW RIVER ROCK – ASPEN BLEND



Aspen Blend  
STONWORKS River Rock



# Elliot Groves



Scheme # 1

LV7 Prairie

BODY: PPG1060-6 RASPBERRY TRUFFLE



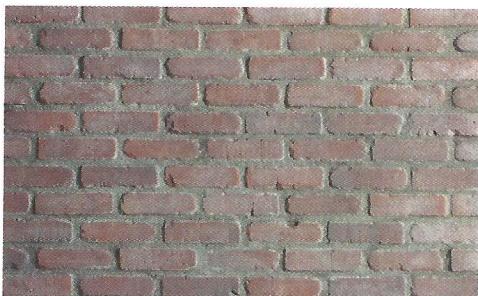
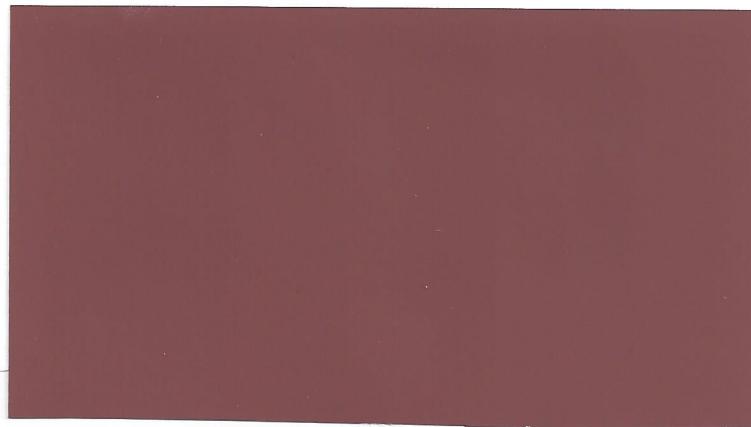
TRIM: PPG1078-5 CONFIDENCE



ACCENT: PPG1078-4 KANGAROO

ROOF TILE: 5687 FLAT

BRICK: OLD TUMBLED BRICK



 OLD TOWNE  
STONEWORKS Tumbled Brick



# Elliot Groves

taylor  
morrison  
*Homes Inspired by You*



Scheme # 2

LV8 Prairie

BODY: PPG1024-2 ANTIQUE WHITE

TRIM: PPG1027-5 RATTON PALM

ACCENT: PPG1071-6 PRAIRIE FIRE

ROOF TILE: 5502 FLAT

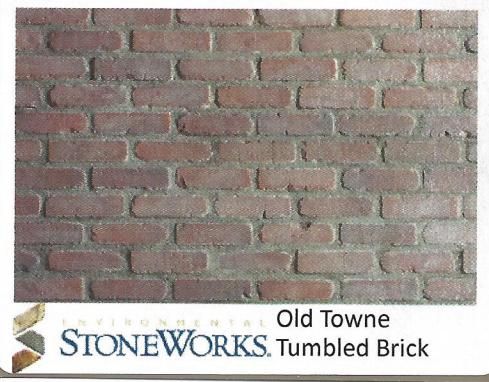
BRICK: OLD TOWN TUMBLED BRICK



HOME  
VANTAGE  
HOUSING PARTNER PROGRAM



Ponderosa - 5502, Arcadia



# Elliot Groves



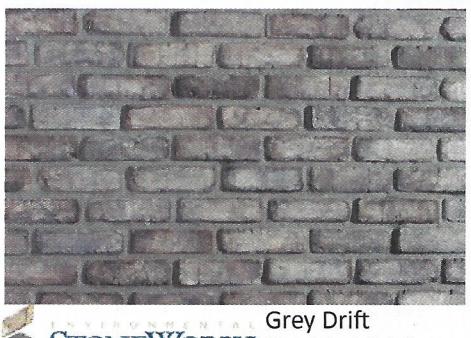
Scheme # 3

LV9 Prairie

Body: PPG1012-5 Steeple Gray  
Trim: PPG1012-4 Gray Frost  
Accent: PPG1024-6 Patches  
Roof Tile: 5502 Flat  
Brick: Thin Brick-Grey Drift



Ponderosa - 5502, Arcadia



ENVIRONMENTAL  
**STONEWORKS** Tumbled Brick